

**VILLAGE OF PORT CHESTER
BOARD OF TRUSTEES
Meeting, Monday, December 1, 2014
PROPOSED EXECUTIVE/CLOSED SESSION 6:00-7:00 P.M.
Regular Meeting: 7:00 P.M.
VILLAGE JUSTICE COURTROOM
350 North Main Street
Port Chester, New York
AGENDA**

TIME: 6:00 P.M.

I	PROPOSED MOTION FOR EXECUTIVE SESSION	ACTION
1	Collective bargaining negotiations involving the PBA.	
2	Chief of Police – Establishing Benefits.	

TIME: 7:00 P.M.

II	PRESENTATION	
1	Amendment to Marina Urban Redevelopment (MUR) regarding Section 142.031, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23, and 24 (Former Coney's lot).	
III	UPDATE FROM THE BUILDING INSPECTOR	ACTION
	<ul style="list-style-type: none"> • TCO • Code Enforcement and Building Department 	
IV	PUBLIC COMMENTS	ACTION
V	RESOLUTIONS	ACTION
	Administration	
1	Authorizing an Inter-Municipal Agreement (IMA) with the County of Westchester with regards to Stop-DWI program.	
2	Transfer of \$5000.00 from DEA funds to the Equipment Account for the Purchase of Medical Equipment.	
3	To provide free street parking in Port Chester downtown from December 20, 2014 through December 31, 2014.	
4	Removal of one parking space at 120 North Pearl Street.	
VI	DISCUSSIONS	ACTION
1	Permitting medical uses in the C1 Zone.	
2	Parking on Horton Ave., as requested by Mayor Pagano.	
3	Speed Hump as requested by Trustee Terenzi.	
VII	CORRESPONDENCE	ACTION
1	From Fire Patrol & Rescue Co. #1 on the expelling of Anthony Reillo.	
2	From Port Chester Rye Brook Rye Town Chamber of Commerce regarding free parking from December 20 through and including December 31, 2014.	
3	From Ciro Cuono letter to express interest in becoming a member of the Planning Commission.	

4	From Christina Collins, Sustainability Committee Invitation to Join Sustainability Committee.	
VIII	MINUTES	ACTION
1	Minutes from October 29, 2014	
2	Minutes from November 3, 2014	
3	Minutes from November 17, 2014	
IX	PUBLIC COMMENTS AND BOARD COMMENTS	ACTION

TIME: _____

**PROPOSED MOTION
FOR
EXECUTIVE SESSION**

PRESENTATION



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Planning and Development Department

Village BOT Meeting Date: 12/1/2014

Item Type: Presentation

Description	Yes	No	Description	Yes	No
Fiscal Impact	X		Public Hearing Required		X
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
			Downtown TOD		
Agreement		X	Manager Priorities		
Strategic Plan Related	X		Planning & Zoning		

Sponsor's Name: Christopher N. Gomez, Director of Planning & Development

Agenda Heading Title
(Will appear as indicated below on Agenda)

MUR Marina Urban Redevelopment District zoning amendment

Summary

Background:

Applicant, G&S Port Chester LLC, has submitted a formal zoning petition pursuant to §345-34 to the Board of Trustees regarding former "Coney's lot" (aka "Retail D"/"Unit 2B"), Section 142.031, Block 1 Lots 3,4,5,6,20,21,22,23 and 24 of the Town of Rye Official Tax Map, for amendments to the Urban Renewal Plan for the Modified Marina Redevelopment Project, regulations to the MUR Marina Redevelopment Project Renewal District, and Concept



Development Plan of the Modified Marina Redevelopment to permit multi-family development.

Specifically, applicant seeks a zoning amendment in order to construct a 5-story, 90,000 square foot mixed use building (“Waterfront Place”) consisting of four floors of 79 rental dwelling units (7 studios, 56 one-bedroom, and 16 two-bedroom) over 12,000 square feet of ground floor retail. The subject parcels were approved for three (3) stories and approximately 40,000 square feet of retail development as part of the overall project approval in 1999.

Petition proposes the following dimensional and bulk requirements for a new “MUR Mixed-Use District”:

- Maximum Height: 5 stories or 70 feet
- Minimum Lot Area per Dwelling Unit: 250 Square Feet
- Minimum Lot Depth/Width: None
- Front/Side/Rear Setback: None
- Usable Open Space per Unit: None

Further, applicant is requesting an amendment to both the MMRP Urban Renewal Plan and MUR District regulations to add a multifamily dwelling parking regulation to the required parking table (see Exhibit “E”)

Comprehensive Plan Consistency:

The subject parcels are within the Downtown North and South Main Street and Abendroth Avenue sub-area of the comprehensive plan which is identified as “Higher Intensity Planning Zone” that strongly encourages “ground floor retail and upper level residential uses to compliment North Main Street” and regulatory controls to promote development primarily comprised of studio and one bedroom dwelling units to reduce impacts to the school district. As such, a zoning text and/or map change to ultimately permit residential development on-site is necessary to achieve consistency between adopted comprehensive plan recommendations and the existing Village Zoning Code.

Note that the Board of Trustees retains discretionary approval authority over all requested amendments as well as ultimate site plan approval for the project by virtue of its location within the MUR Marina Urban Redevelopment District.

Proposed Action
Possible Referral to the Planning Commission
Attachments
Zoning Petition

BOARD OF TRUSTEES: VILLAGE OF PORT CHESTER
COUNTY OF WESTCHESTER: STATE OF NEW YORK
-----X

In the Matter of the Application of

G & S PORT CHESTER LLC

PETITION

For amendments to (i) the Urban Renewal Plan for the Modified Marina Redevelopment Project, (ii) the regulations of the MUR Marina Redevelopment Project Urban Renewal District of the Village of Port Chester, and (iii) the Concept Development Plan of the Modified Marina Redevelopment Project.
-----X

G & S Port Chester LLC (the "Petitioner"), by its attorneys Tartaglia Law Group, LLC, hereby petitions the Board of Trustees of the Village of Port Chester, as follows:

THE PETITIONER AND THE MODIFIED MARINA REDEVELOPMENT PROJECT

1. The Petitioner is a limited liability company organized and existing under the laws of the State of New York, having an address at 211 East 43rd Street, 25th Floor, New York, New York.

2. The Petitioner is the duly designated sponsor and redeveloper of the Modified Marina Redevelopment Project (the "Project") of the Village of Port Chester (the "Village") pursuant to a certain Land Acquisition and Disposition Agreement (the "LADA") dated as of July 14, 1999 and made by and among the Petitioner, the Village and the Village of Port Chester Industrial Development Agency (the "IDA"), as amended to date.

3. Under the LADA: (a) the Project area is divided into several "Units" for private redevelopment; (b) fee title to each of the Units was conveyed by the Village to the IDA; and (c) each Unit was leased to Petitioner in a "straight-lease transaction," as that term is defined in the New York State Industrial Development Agency Act (New York General Municipal Law Article 18A).

4. The Project was approved by the Board of Trustees of the Village (the "Village Board") as of July 14, 1999, by, among other things, the Second Amendment to the Urban Renewal Plan for the Village Center Urban Renewal Plan Area and the Marina Redevelopment Urban Renewal Plan (such Second Amendment is hereinafter referred to as the "MMRP Urban Renewal Plan"). The Project is an approved program for the redevelopment of an approximately twenty-eight (28) acre area in the downtown of the Village in and adjacent to the Village's central business district. The objectives of the Project are to eliminate blight and deteriorated conditions within the Project area, revitalize the Village's downtown and waterfront areas by attracting new businesses and creating employment opportunities, preserve and enhance property values and enhance the Village's aesthetics. The Project consists of a total of approximately 500,000 square feet of retail and commercial uses together with related infrastructure, parking and public spaces. A first level floor plan which shows the general layout of the Project is attached hereto as Exhibit "A."

5. The Project has been very successful to date, as virtually all of the Village's objectives for the Project have been met. Among the Project components which have been constructed and which have contributed to the overall success of the Project to date is "The Waterfront at Port Chester" retail center which includes a Costco Wholesale Club, Bed Bath & Beyond, a Super Stop & Shop Supermarket, a fourteen (14) screen AMC Loews movie theatre, Marshall's, and other retail uses. The Project has completely changed the character of the Village's downtown, and has transformed the downtown area into a vibrant destination for shopping and entertainment. It is also a matter of great pride that the Project has led to significant investment and reinvestment in neighboring properties, which together with the Project has contributed to the continuing transformation of the downtown.

THE PROPERTY

6. The real property which is the subject of this Petition is known and designated on the tax assessment map of the Village as Section 142.031, Block 1, Lots 3, 4, 5, 6, 20, 21, 22, 23, and 24 and consists of approximately 23,138 square feet (the "Property"). It is located at the northeast corner of North Main Street and Westchester Avenue, and is also known as "Retail D" of the Project (see "Retail D" shown on Exhibit "A"). The Property is also designated as Unit 2B of the Project under the LADA ("Unit 2B"). A perimeter description of the Property is also attached hereto as part of Exhibit "A."

7. The Property is currently approved for the construction of approximately 40,000 square feet of floor area in a three (3) story building.

THE PROPOSED BUILDING

8. At the time that the Project was approved, the Village Board's focus was on retail and commercial development, and not on residential development. However, over the course of the last decade, there has been a strong trend toward "smart growth," which advocates mixed-use development concentrated in urban cores, with residential uses located near public transportation. As has been shown in many thriving nearby communities such as the City of White Plains, where luxury residential development has attracted residents with high incomes supporting a new and exciting downtown living experience, locating residential uses in a downtown area that offers a range of public transportation, employment opportunities, and housing choices leads to long term sustainability of the downtown.

9. The value of residential development in the downtown was not lost on the Village Board at the time the Project was approved. Although the Project does not currently include a residential component, the Village Board's findings under the State Environmental Quality Review

Act made in connection with the approval of the Project acknowledge that the success of the commercial portion of the Project could be a catalyst for future residential development in the downtown area, which would also be a positive and beneficial impact of the Project.

10. The Petitioner now proposes to construct on the Property an approximately 90,000 square foot, five (5) story mixed-use residential and commercial building (the “Building”) to be known as “Waterfront Place.” A proposed rendering of the Building is attached hereto as Exhibit “B.”

11. The ground floor of the Building contains approximately 12,000 square feet of neighborhood retail space. The ground floor plan of the Project is attached hereto as Exhibit “C.”

12. The remaining four (4) floors of the Building constitute the residential component, and, subject to design variations, will contain approximately seventy-nine (79) rental dwelling units consisting of the following unit mix: fifty-six (56) one-bedroom units, sixteen (16) two-bedroom units and seven (7) studio units. A typical residential floor plan is attached hereto as Exhibit “C.”

13. In addition to the availability of the public transportation and retail and entertainment opportunities in close proximity, the Building also includes a number of amenities for the residential component, including an exercise room and an outdoor rooftop courtyard which would provide passive recreational space for use by the residents.

**THE PROPOSED AMENDMENTS TO THE MMRP URBAN RENEWAL PLAN, REGULATIONS OF
THE MUR MARINA REDEVELOPMENT PROJECT URBAN RENEWAL AREA AND CONCEPT
DEVELOPMENT PLAN OF THE PROJECT**

14. Land use in the Project is controlled by the MMRP Urban Renewal Plan, the regulations of the MUR Marina Redevelopment Project Urban Renewal District (the “MUR

District”), and the “Concept Development Plan” required by those regulations. The retail component of the proposed Building is permitted under all three controls.

15. Under the Zoning Regulation, the residential component of the Building is considered a “multifamily dwelling.” The MMRP Urban Renewal Plan, MUR District regulations and Concept Development Plan do not currently permit multifamily dwellings in Land Use Area 2, or the development within Land Use Area 2 of more than 40,000 square feet of floor area in a building greater than three (3) stories and 45 feet high. Therefore, to permit the development of the Building on the Property, the Petitioner respectfully requests that: (a) the MMRP Urban Renewal Plan and the regulations of the MUR District be amended to create a new district to be referred to as the “MUR-Mixed Use District” specifically limited to Land Use Area 2, that will principally permit: (i) multi-family dwellings (floors above first floor); and require (ii) maximum building height of five (5) stories or 70 feet; (iii) minimum lot area per dwelling unit of 250 sq. ft.; (iv) no requirement for lot width or lot depth; (v) no minimum yard requirements; and (vi) no minimum usable open space per dwelling unit, and (b) the Concept Development Plan be amended to conform to these proposed amendments to the MMRP Urban Renewal Plan and MUR District regulations. The proposed amendments to the MMRP Urban Renewal Plan and MUR District Regulations are set forth in Exhibit “D” hereto.

16. There is ample existing parking to accommodate the proposed residential use of the Building. However, since the Project as currently approved does not contain a residential component, the MMRP Urban Renewal Plan and MUR District regulations do not include a parking requirement for multifamily dwellings. Accordingly, the Petitioner respectfully requests that the table of required parking in the MMRP Urban Renewal Plan and in the MUR District

(Section 345-67.B(3)(g)[2][b] of the Port Chester Zoning Regulation) be amended to include a parking standard for “multi-family dwellings” as set forth in Exhibit “E” hereto.

17. The Petitioner respectfully submits that the Building is an appropriate use of the Property, will contribute to the continuing revitalization and sustainability of the downtown and will further the objectives of the Project and the goals for sustainable development that are set forth in the draft Comprehensive Plan under discussion in the Village.

COMPLIANCE WITH THE STATE ENVIRONMENTAL QUALITY REVIEW ACT

18. Under the State Environmental Quality Review Act and the regulations promulgated thereunder (“SEQRA”), the actions directly and indirectly proposed by the Petition are classified as “Unlisted.”

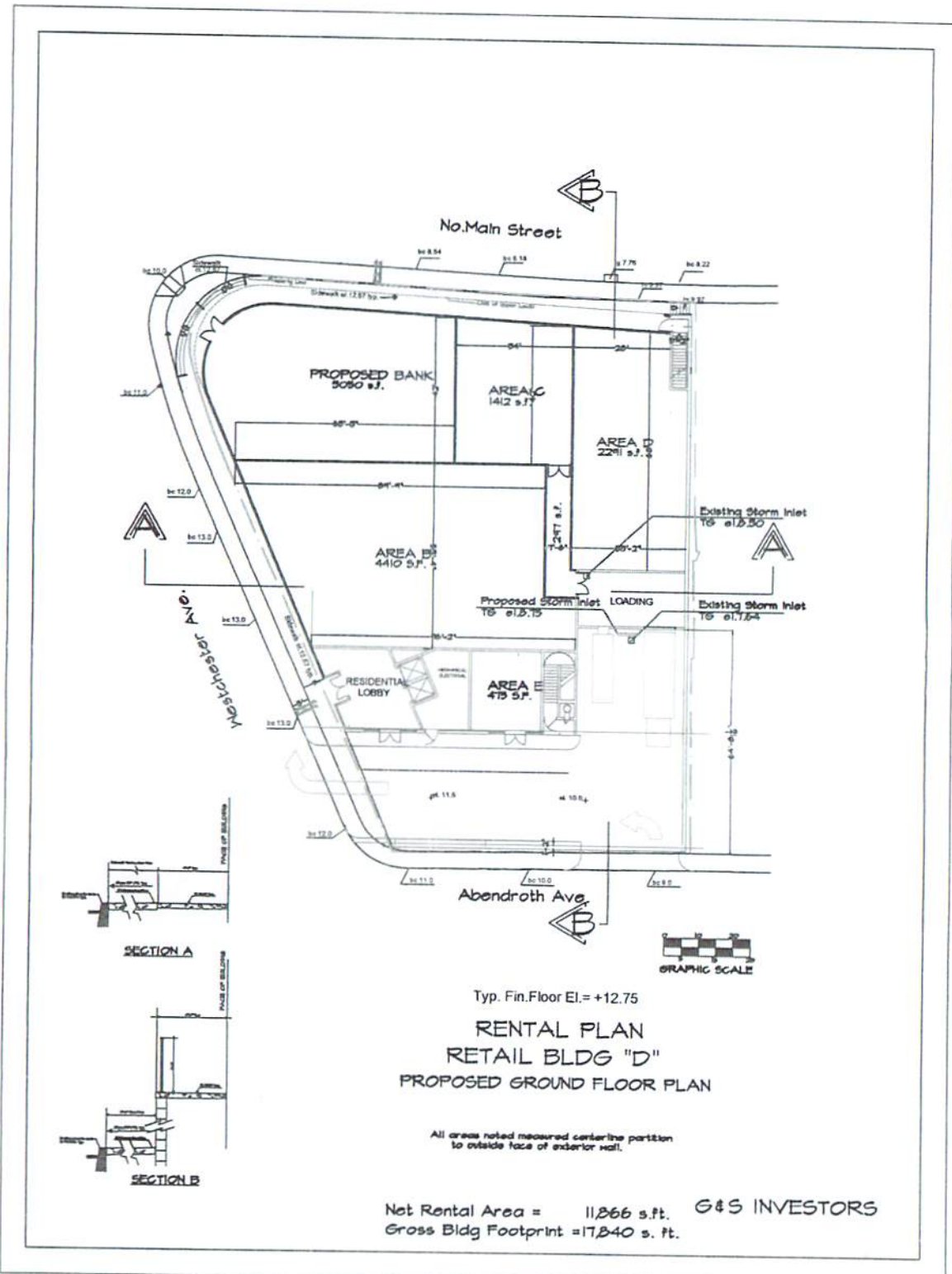
19. Accordingly, the Petitioner shall comply in all respects with the requirements of SEQRA regarding an Unlisted action. A long Environmental Assessment Form prepared by Cleary Consulting is attached hereto as Exhibit “F.”

WHEREFORE, the Petitioner respectfully requests that this Petition be granted as set forth herein.

Respectfully submitted,
TARTAGLIA LAW GROUP, LLC
Attorneys for Petitioner
800 Westchester Avenue
Rye Brook, NY 10573
(914) 481-1880

Dated: Rye Brook, New York
November 21, 2014

Exhibit A



Typ. Fin. Floor El. = +12.75
RENTAL PLAN
RETAIL BLDG "D"
PROPOSED GROUND FLOOR PLAN

All areas noted measured centerline partition
 to outside face of exterior wall.

Net Rental Area = 11,866 s.ft. **G&S INVESTORS**
 Gross Bldg Footprint = 17,840 s. ft.

PROPERTY DESCRIPTION

RETAIL "D"

ALL that certain plot, piece or parcel of land, situate, lying and being in the Village of Port Chester, Town of Rye, County of Westchester and State of New York, known and designated as Parcels 2, 3, 4, 5, 6, 7, and 8, The Draftway (Liberty Street R.O.W.) and Brook Parcel on a certain map entitled, "Acquisition Map, Map of Property to be acquired by the Village of Port Chester as shown on the tax assessment map as Section 2, Block 66, Lots 10-17, 18A and 18B of The Village of Port Chester" dated 01/17/2000 made by James V. DeMuro and filed in the Westchester County Clerk's Office on August 1, 2000 as Map No. 26596, being more particularly bounded and described as follows:

'BEGINNING at a point being the intersection of the northerly sideline of Westchester Avenue with the westerly sideline of Abendroth Avenue and running the following courses and distances:

- 1) Along Westchester Avenue, South 81 Degrees 44' 58 West, 27.11 feet; THENCE
- 2) Along Westchester-Avenue and crossing the opening of Driftway (Liberty Street), South 83 Degrees 08' 01" West, 102.74 feet to a point; THENCE
- 3) Along Westchester Avenue, South 89 Degrees 24' 01" West, 51.91 feet to a point; THENCE
- 4) Along No. Main Street, North 18 Degrees 41' 05" East, 171.31 feet to a point; THENCE
- 5) Leaving No. Main Street, South 74 Degrees 35' 55" East, 61.11 feet; THENCE
- 6) South 82 Degrees 42' 55" East, 10.58 feet to a point; THENCE
- 7) South 15 Degrees 58' 05" West, 0.99 feet to a point; THENCE
- 8) South 73 Degrees 37' 45" East, 2.62 feet to a point; THENCE
- 9) South 16 Degrees 22' 15" West, 0.75 feet to a point; THENCE
- 10) South 73 Degrees 37' 45" East 28.40 feet to a point; THENCE
- 11) North 16 Degrees 22' 15" East, 0.75 feet to a point; THENCE
- 12) South 73 Degrees 37' 45" East, 57.33 feet to a point; THENCE
- 13) Along Abendroth Avenue, South 15 Degrees 21' 2.8" West, 105.92 feet to the place of BEGINNING.

Exhibit B



WATERERON

RETAIL 1

RETAIL 2

RETAIL 3

RETAIL 4

RETAIL RETAIL





WATERFRONT PLACE

RETAIL RETAIL RETAIL

RETAIL 5

RETAIL 6

RETAIL 7

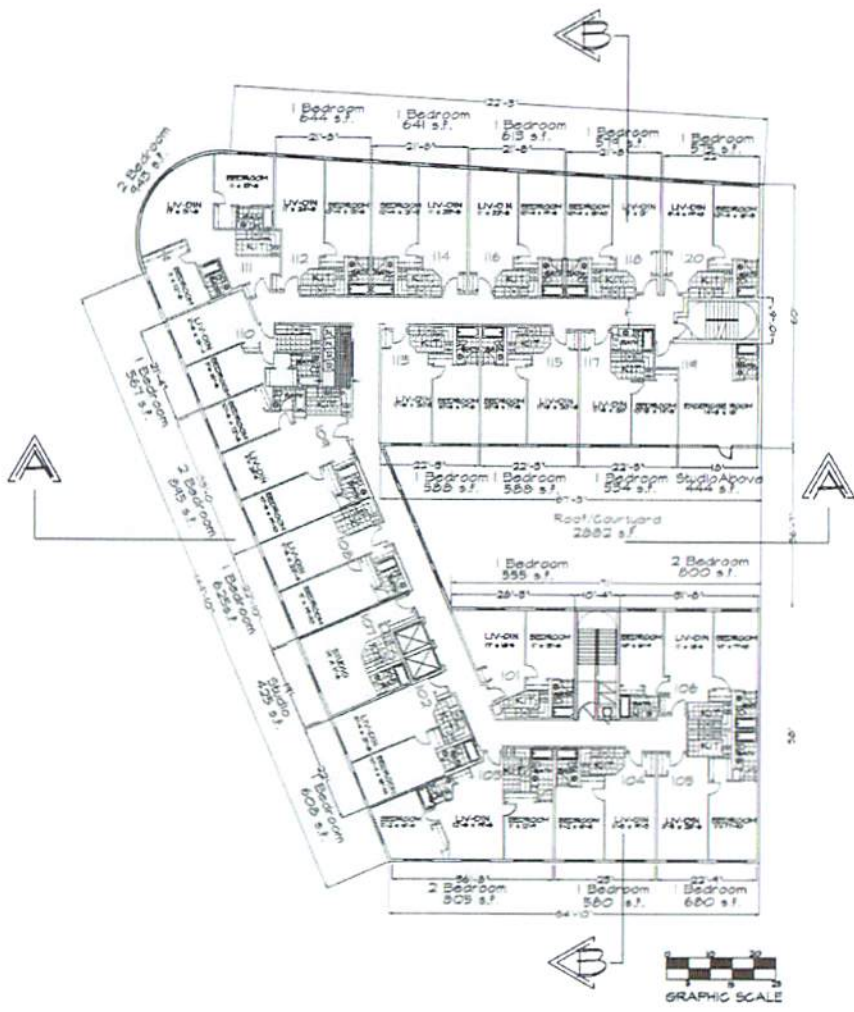
RETAIL 8

RETAIL 5

WATERFRONT PLACE



Exhibit C



RETAIL BLDG "D" TYPICAL RESIDENTIAL FLOOR PLAN

Net Apartment Area = 12684 s.ft.
 Net Common Area = 2326 s.ft.
 Net Roof Area = 2882 s.ft.
 Perimeter Walls = 710 s.ft.
 Gross Bldg Footprint = 18601 s.ft.

G&S INVESTORS

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Exhibit D

EXHIBIT "D"

Proposed Amendments to the MMRP Urban Renewal Plan

Section B.1.b (Permitted Land Use and Development Controls) is amended as follows (matter in {brackets} is deleted; underlined matter is added):

Land Use Parcel 2

Permitted Land Uses: Same as Parcel 1, except for multiscreen cinema theater, theaters, and supermarket.

Multifamily dwellings

Permitted Development: {Forty thousand (40,000)} Ninety-three thousand (93,000) square feet of building floor area.

Permitted Height: {Three (3) stories; forty five (45) feet} Five (5) stories; 70 feet.

Proposed Amendments to the MUR District regulations

Section 345-67.B(1)(b) is amended as follows (matter in {brackets} is deleted; underlined matter is added):

(b) Land Use Area 2.

[1] Permitted land uses:

[a] Same as Land Use Area 1, except for multiscreen cinema theater, theaters and supermarket.

[b] Multi-family dwellings

[2] Permitted development: {40,000} 93,000 square feet of building floor area.

[3] Permitted height: {three stories; 45 feet} five stories; 70 feet.

Exhibit E

EXHIBIT “E”

Proposed Amendments to the MMRP Urban Renewal Plan and MUR District regulations

Section B.2.g of the MMRP Urban Renewal Plan and Section 345-67.B(3)(g)[2][b] of the MUR District Regulations (Tables of Required Parking) are both amended to include the following use category and standards:

Multifamily Dwellings

Weekdays

Monday through Friday

9:00 am. 0.75 per 1,000 square feet of floor area

12:00 p.m. 0.75 per 1,000 square feet of floor area

6:00 p.m. 1.0 per 1,000 square feet of floor area

9:00 p.m. 1.25 per 1,000 square feet of floor area

Weekends

Saturday and Sunday

9:00 a.m. 0.5 per 1,000 square feet of floor area

12:00 p.m. 0.5 per 1,000 square feet of floor area

6:00 p.m. 1.0 per 1,000 square feet of floor area

9:00 p.m. 1.25 per 1,000 square feet of floor area

Exhibit F

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Modified Marine Redevelopment Project - "Retail D"		
Project Location (describe, and attach a general location map): Northeast corner of North Main Street and Westchester Avenue		
Brief Description of Proposed Action (include purpose or need): The proposed action involves amendments to the Modified Marina Redevelopment Project Urban Renewal Plan, and Urban Renewal Area and Concept Development Plan to allow for the construction of an approximately 90,000 square foot, 5-story mixed-use building containing 12,000 square feet of ground floor retail space and 79 dwelling units on the 2nd through 5th floors; consisting of 56 one bedroom units, 16 two bedroom units and 7 studio units. Building amenities including a rooftop courtyard and exercise facility are proposed, and the building would be served by connections to the municipal sewer and water infrastructural network.		
Name of Applicant/Sponsor: G&S Port Chester, LLC	Telephone: 212-286-3300	E-Mail:
Address: 211 East 43rd Street, 25th Floor		
City/PO: New York	State: NY	Zip Code: 10036
Project Contact (if not same as sponsor; give name and title/role): Daniel Tartaglia	Telephone: 914-481-1880	E-Mail: danieltartaglia@gmail.com
Address: Tartaglia Law Group, LLC, 800 Westchester Avenue		
City/PO: Rye Brook	State: NY	Zip Code: 10578
Property Owner (if not same as sponsor): Same	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amendments to Modified Marina Redevelopment Plan, Marina Urban Renewal Area	November, 2014
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Referral Recommendation	
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Waterfront Commission	
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board 239m, Health Department	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Port Chester - Rye Union Free School District

b. What police or other public protection forces serve the project site?
Village of Port Chester Police Department

c. Which fire protection and emergency medical services serve the project site?
Port Chester Fire Department, Port Chester - Rye Brook EMS

d. What parks serve the project site?
Columbus Park, Abendroth Park, Edgewood Park, Lyon Park, Recreation Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? _____ 0.53 acres

b. Total acreage to be physically disturbed? _____ 0.53 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.53 acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: Retail D of Marina Redev.

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ 12-18 months

- ii. If Yes:
- Total number of phases anticipated _____
 - Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 - Anticipated completion date of final phase _____ month _____ year
 - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses?

Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	79 Units

g. Does the proposed action include new non-residential construction (including expansions)?

Yes No

If Yes,

- i. Total number of structures _____ 1
- ii. Dimensions (in feet) of largest proposed structure: 5 stories height; 60' width; and 75' length
- iii. Approximate extent of building space to be heated or cooled: _____ 100% square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?

Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____
- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

Yes No

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
- iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____
- v. What is the total area to be dredged or excavated? _____ acres
- vi. What is the maximum area to be worked at any one time? _____ acres
- vii. What would be the maximum depth of excavation or dredging? _____ feet
- viii. Will the excavation require blasting? Yes No
- ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?

Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 10,450 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: United Water
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: 65% Putnam Ct Reservoir, 35% Westchester Joint Waterworks

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 10,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater (100%)

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Port Chester Sewage Treatment Plant
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or .53 acres (impervious surface)

_____ Square feet or .53 acres (parcel size)

ii. Describe types of new point sources. None

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On site collection system, discharge to municipal storm sewer system

• If to surface waters, identify receiving water bodies or wetlands: Byram River

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

None

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

Construction equipment

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

Heating and cooling mechanical equipment

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

n. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ <1

iii. Parking spaces: Existing 0 Proposed 0 Net increase/decrease 0

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
T.B.D.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 7:00 am - 4:00 pm
- Saturday: 7:00 am 3:00 pm
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: T.B.D.
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Building mounted lighting fixtures _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ T.B.D. tons per _____ (unit of time)
- Operation : 60 lbs/day for commercial tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Construction waste will be recycled _____
- Operation: Compliance with recycling program _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Private carter _____
- Operation: Private carter, disposal at Wheelabrator Peekskill _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.53	0.53	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 9001927, 9513471, 9515849 (adjacent gas station)
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 Spills remediated.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >10' feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Urban Land	_____	100 %
_____	_____	_____ %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ 2' - >6' feet

e. Drainage status of project site soils:

<input type="checkbox"/> Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Moderately Well Drained:	25	% of site
<input checked="" type="checkbox"/> Poorly Drained	75	% of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	% of site
<input type="checkbox"/> 15% or greater:	_____	% of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
Urban species _____

n. Does the project site contain a designated significant natural community? Yes No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
i. If Yes: acreage(s) on project site? _____
ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No

If Yes:

i. Nature of the natural landmark: Biological Community Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No

If Yes:

i. CEA name: _____
ii. Basis for designation: _____
iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name G&S Port Chester, LLC Date November 25, 2014

Signature _____ Title _____

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Project :

Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) NO YES
If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) NO YES
If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--------------------------	--------------------------

4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation

The proposed action may result in a change to existing transportation systems.

 NO YES

(See Part 1. D.2.j)

If "Yes", answer questions a - g. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy

The proposed action may cause an increase in the use of any form of energy.

 NO YES

(See Part 1. D.2.k)

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light

The proposed action may result in an increase in noise, odors, or outdoor lighting.

 NO YES

(See Part 1. D.2.m., n., and o.)

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

NO

YES

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

UPDATE FROM THE BUILDING INSPECTOR

PUBLIC COMMENTS

RESOLUTIONS



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Police Department

BOT Meeting Date: 12/1/2014

Item Type: Resolution

Sponsor's Name: Richard F. Conway, Chief Police

Description	Yes	No	Description	Yes	No
Fiscal Impact	x	<input type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	x
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	Choose a Strategic Plan Area		
Agreement	<input type="checkbox"/> x	<input type="checkbox"/>	Manager Priorities		
Strategic Plan Related	<input type="checkbox"/>	x	Other		

Agenda Heading Title
(Will appear on the Agenda as indicated below)

AUTHORIZING AN INTER-MUNICIPAL AGREEMENT WITH THE COUNTY OF WESTCHESTER WITH REGARD TO STOP-DWI ENFORCEMENT CRACKDOWN PROGRAM

Summary

Background:

The STOP-DWI Enforcement Crackdown Program is an overtime, added, patrol effort to enforce the New York State Vehicle and Traffic Laws against intoxicated and impaired driving (DWI/DWAI) through an IMA with the County of Westchester.

The agreement enables the Village to be reimbursed for salary to participating officers during the period October 1, 2013 through September 30, 2014.

The Chief of Police will be available to present and answer any questions regarding this beneficial program.

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

AUTHORIZING AN INTER-MUNICIPAL AGREEMENT
WITH THE COUNTY OF WESTCHESTER WITH REGARD TO STOP-DWI
ENFORCEMENT CRACKDOWN PROGRAM

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the STOP-DWI Enforcement Crackdown Program is an overtime, added, patrol effort to enforce the New York State Vehicle and Traffic Laws against intoxicated and impaired driving (DWI/DWAI) through an IMA with the County of Westchester; and

WHEREAS, the County has forwarded an inter-municipal agreement covering the period October 1, 2013 through September 30, 2014; and

WHEREAS, execution of the agreement will enable the Village of Port Chester to be reimbursed for Village police officers participating in the program during this time-period. Now, therefore, be it

RESOLVED, that the Village Manager be and is hereby authorized to enter into an inter-municipal agreement with the County of Westchester to facilitate the Port Chester Police Department's participation in the STOP-DWI Enforcement Crackdown Program for 2013-2014.

APPROVED AS TO FORM:

Village Attorney
Anthony Cerreto

ROLL CALL

AYES:

NOES:

ABSENT:

DATE:

Port Chester: 2013-2014-30

THIS AGREEMENT made this _____ day of _____, 2014 by and between:

THE COUNTY OF WESTCHESTER, a municipal corporation of the State of New York, having an office and place of business in the Michaelian Office Building, 148 Martine Avenue, White Plains, New York 10601 (hereinafter referred to as the “County”)

Acting by and through its Department of Public Safety Services (hereinafter referred to as the “Department”)

And

VILLAGE OF PORT CHESTER
222 Grace Church Road
Port Chester, NY 10573

_____ a municipal corporation of the State of New York having an office and place of business at _____, New York _____ acting by and through the _____ Police Department, (hereinafter referred to as the “Municipality”).

1. The Municipality shall run special enforcement details to conduct high visibility road checks, saturation patrols, and drug recognition expert call outs, as more particularly described in Schedule “A”, attached hereto and made a part hereof (hereinafter the “Work”).
2. In consideration for services rendered, the County shall pay the Municipality an amount not to exceed TWELVE THOUSAND (\$12,000.00) DOLLARS, to be paid upon completion of the Work as provided in Schedule “A”, which is attached to and forms a part of this Agreement.
3. The parties recognize and acknowledge that the obligations of the County under this Agreement are subject to the County’s actual receipt of funds from the New York State STOP-DWI Foundation.

If, for any reason, the full amount of said funds is not paid over or made available to the County by the New York State STOP-DWI Foundation, the County may terminate this Agreement immediately or reduce the amount payable to the Municipality, in the discretion of the County. The County shall give prompt notice of any such termination or reduction to the Municipality. If the County subsequently offers to pay a reduced amount to the Municipality, then the Municipality shall have the right to terminate this Agreement upon reasonable prior written notice.

In addition, the parties recognize and acknowledge that the obligations of the County under this Agreement are subject to annual appropriations by its Board of Legislators pursuant to the Laws of Westchester County. Therefore, this Agreement shall be deemed executory only to the extent of the monies appropriated and available. The County shall have no liability under

this Agreement beyond funds appropriated and available for payment pursuant to this Agreement. The parties understand and intend that the obligation of the County hereunder shall constitute a current expense of the County and shall not in any way be construed to be a debt of the County in contravention of any applicable constitutional or statutory limitations or requirements concerning the creation of indebtedness by the County, nor shall anything contained in this Agreement constitute a pledge of the general tax revenues, funds or moneys of the County. The County shall pay amounts due under this Agreement exclusively from legally available funds appropriated for this purpose. The County shall retain the right, upon the occurrence of the adoption of any County Budget by its Board of Legislators during the term of this Agreement or any amendments thereto, and for a reasonable period of time after such adoption(s), to conduct an analysis of the impacts of any such County Budget on County finances. After such analysis, the County shall retain the right to either terminate this Agreement or to renegotiate the amounts and rates set forth herein. If the County subsequently offers to pay a reduced amount to the Municipality, then the Municipality shall have the right to terminate this Agreement upon reasonable prior written notice.

This Agreement is also subject to further financial analysis of the impact of any New York State Budget (the "State Budget") proposed and adopted during the term of this Agreement. The County shall retain the right, upon the occurrence of any release by the Governor of a proposed State Budget and/or the adoption of a State Budget or any amendments thereto, and for a reasonable period of time after such release(s) or adoption(s), to conduct an analysis of the impacts of any such State Budget on County finances. After such analysis, the County shall retain the right to either terminate this Agreement or to renegotiate the amounts and rates approved herein. If the County subsequently offers to pay a reduced amount to the Municipality, then the Municipality shall have the right to terminate this Agreement upon reasonable prior written notice.

3. All records or recorded data of any kind compiled by the Municipality in completing the Work described in this Agreement, including but not limited to written reports, studies, computer printouts, graphs, charts, and all other similar recorded data, shall become and remain the property of the County. The Municipality may retain copies of such records for its own use and shall not disclose any such information without the express written consent of the Stop-DWI Director or his designee ("Director"). The County shall have the right to reproduce and publish such records, if it so desires, at no additional cost to the County.

4. The Work to be performed pursuant to the terms of this Agreement shall commence October 1, 2013 and continue through September 30, 2014.

The Municipality shall issue progress reports to the County as the Director may direct and shall immediately inform the Director in writing of any cause for delay in the performance of its obligations under this Agreement.

5. The Municipality agrees and shall be subject to the insurance requirements contained in Schedule "B", which schedule is attached to and forms a part of this Agreement. In addition to and not in limitation of the insurance provisions contained in Schedule "B", the Municipality agrees:

(a) that except for the amount, if any, of damage contributed to, caused by or resulting from the negligent or intentional acts, errors and omissions or willful misconduct of the County, the Municipality shall indemnify and hold harmless the County, its officers, employees, and agents

from and against any and all liability, damage, claims, demands, costs, judgments, fees, attorney's fees or loss arising out of the negligent or intentional acts, errors and omissions or willful misconduct of the Municipality or third parties under the direction or control of the Municipality; and

(b) to provide defense for and defend, at its sole expense, any and all claims, demands or causes of action arising out of the negligent or intentional acts, errors and omissions or willful misconduct of the Municipality or third parties under the direction and control of the Municipality and to bear all other costs and expenses related thereto.

6. The Municipality shall comply, at its own expense, with the provisions of all applicable local, state and federal laws, rules and regulations, including, but not limited to, those applicable to the Municipality as an employer of labor or otherwise.

7. Requests for payment to be made shall be submitted by the Municipality on properly executed payment vouchers of the County in accordance with Schedule "A" and paid only after approval by the Director. All payment vouchers must be accompanied by a numbered invoice and must contain the invoice number where indicated. All invoices submitted during each calendar year shall utilize consecutive numbering and be non-repeating. In no event shall payment be made to the Municipality prior to completion of all Work and the approval of same by the Director.

The Municipality shall, at no additional charge, furnish all labor, services, materials, tools, equipment and other appliances necessary to complete the Work, unless specific additional charges are expressly permitted under this Agreement. It is recognized and understood that even if specific additional charges are expressly permitted under this Agreement, in no event shall total payment to the Municipality exceed the not-to-exceed amount set forth in Section 1 above.

All payments made by the County to the Municipality will be made by electronic funds transfer ("EFT") pursuant to the County's Vendor Direct program. Municipalities doing business with Westchester County, who are not already enrolled in the Vendor Direct Program, will be required to fill out and submit an EFT Authorization Form prior to receiving an award or purchase order. The EFT Authorization Form and related information are annexed hereto as Schedule "C." The completed Authorization Form must be returned by the Municipality to the Westchester County Department of Finance ("Finance Department") prior to execution of the contract. In rare cases, a hardship waiver may be granted. For a Hardship Waiver Request Form, please contact the Finance Department.

8. (a) The County, upon ten (10) days notice to the Municipality, may terminate this Agreement in whole or in part when the County deems it to be in its best interest. In such event, the Municipality shall be compensated and the County shall be liable only for payment for services already rendered under this Agreement prior to the effective date of termination at the rates specified in Schedule "A." Upon receipt of notice that the County is terminating this Agreement in its best interests, the Municipality shall stop work immediately and incur no further costs in furtherance of this Agreement without the express approval of the Director, and the Municipality shall direct any approved subconsultants to do the same.

In the event of a dispute as to the value of the Work rendered by the Municipality prior to the date of termination, it is understood and agreed that the Director shall determine the value of

such Work rendered by the Municipality. The Municipality shall accept such reasonable and good faith determination as final.

(b) In the event the County determines that there has been a material breach by the Municipality of any of the terms of the Agreement and such breach remains uncured for forty-eight (48) hours after service on the Municipality of written notice thereof, the County, in addition to any other right or remedy it might have, may terminate this Agreement and the County shall have the right, power and authority to complete the Work provided for in this Agreement, or contract for its completion, and any additional expense or cost of such completion shall be charged to and paid by the Municipality. Without limiting the foregoing, upon written notice to the Municipality, repeated breaches by the Municipality of duties or obligations under this Agreement shall be deemed a material breach of this Agreement justifying termination for cause hereunder without requirement for further opportunity to cure.

9. All notices of any nature referred to in this Agreement shall be in writing and either sent by registered or certified mail postage pre-paid, or delivered by hand or overnight courier, or sent by facsimile (with acknowledgment received and a copy of the notice sent by registered or certified mail, postage pre-paid), as set forth below or to such other addresses as the respective parties hereto may designate in writing. Notice shall be effective on the date of receipt. Notices shall be sent to the following:

To the County:

Commissioner - Sheriff of Public Safety
Saw Mill River Parkway
Hawthorne, New York 10532

With a copy to:

Director, Drug Prevention & STOP-DWI
112 E. Post Road, 3rd Floor
White Plains, New York 10601

with a copy to:

County Attorney
Michaelian Office Building, Room 600
148 Martine Avenue
White Plains, New York 10601

To the Municipality:

10. This Agreement and its attachments constitute the entire Agreement between the parties with respect to the subject matter hereof and shall supersede all previous negotiations,

commitments and writings. It shall not be released, discharged, changed or modified except by an instrument in writing signed by a duly authorized representative of each of the parties.

11. In the event of any conflict between the terms of this Agreement and the terms of any schedule or attachment hereto, it is understood that the terms of this Agreement shall be controlling with respect to any interpretation of the meaning and intent of the parties.

12. Nothing contained herein shall be construed to make either party the agent, employee or co-venturer of the other and the parties hereto expressly disclaim the existence of any such relationship between them.

13. The failure of the County to insist upon strict performance of any term, condition or covenant herein, shall not be considered a waiver of such breach or default or any subsequent breach or default of the terms, conditions and covenants herein. The remedies contained herein are cumulative and shall not limit or restrict any other remedy at law or in equity to which the County may be entitled.

14. Except as provided herein, the Municipality shall not assign, sublet, subcontract or otherwise dispose of this Agreement, or any right, duty or interest herein, without the prior express written approval of the County. Any purported delegation of duties, assignment of rights under this Agreement without the prior express written consent of the County is void. No assignment, subcontracting, subletting or other such disposition of this Agreement, either with or without such consent of the County, shall serve to relieve the Municipality of its obligations under this Agreement.

15. This Agreement shall be construed and enforced in accordance with the Laws of the State of New York.

16. This Agreement shall not be enforceable until signed by all parties and approved by the Office of the County Attorney.

IN WITNESS WHEREOF, the County of Westchester and the Municipality have caused this Agreement to be executed.

THE COUNTY OF WESTCHESTER

BY: _____
GEORGE N. LONGWORTH
Commissioner – Sheriff of Public Safety

MUNICIPALITY

BY: _____
Name & Title

Approved by the Westchester County Board of Acquisition and Contract on the 5th day of June, 2014.

Approved as to form
and manner of execution

Assistant County Attorney
County of Westchester
S/G/DPS/STOP DWI Drug Recognition Enforcement Grant Agr 5-14-14 REVISED.doc

ACKNOWLEDGMENT

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the _____ day of _____ in the year 2014 before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Date: _____

Notary Public

CERTIFICATE OF AUTHORITY
(MUNICIPAL CORPORATION)

I, _____,
(Officer other than officer signing contract)

certify that I am the _____ of
(Title)
the _____
(Name of Municipal Corporation)

a corporation duly organized and in good standing under the _____
(Law under which organized, e.g., the New York Business Corporation Law) named in the
foregoing agreement; that

(Person executing agreement)

who signed said agreement on behalf of the _____
(Name of Municipal Corporation)

was, at the time of execution

(Title of such person)

of the Corporation and that said agreement was duly signed for and on behalf of said Municipal Corporation by authority of its governing board, thereunto duly authorized and that such authority is in full force and effect at the date hereof.

(Signature)

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the _____ day of _____ in the year 2014 before me, the undersigned, a Notary Public in and for said State, _____ personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the officer described in and who executed the above certificate, who being by me duly sworn did depose and say that he/she resides at _____, and he/she is an officer of said corporation; that he/she is duly authorized to execute said certificate on behalf of said corporation, and that he/she signed his/her name thereto pursuant to such authority.

Notary Public
Date

SCHEDULE A



Enforcement Crackdowns

October 1, 2013-September 30, 2014

The STOP-DWI Enforcement Crackdown Program is an overtime, added, patrol effort to enforce the New York State Vehicle and Traffic Laws against intoxicated and impaired driving (DWI/DWAI) in Westchester County. Each participating municipality, through its police department, must submit the required documentation to claim reimbursement from the New York State STOP-DWI Foundation.

Several years ago the New York State STOP-DWI Association, Inc. launched the "STOP-DWI Crackdown Weekends." Law enforcement agencies throughout the state join forces with overtime patrols funded by local STOP-DWI programs as well as a "crackdown" GTSC grant funded through the STOP-DWI Foundation.

All details must be scheduled and approved prior to conducting said operation. The Crackdown details are cooperative and must include multi-agency efforts (these details also include the New York State Troopers Association). In addition, these crackdowns will include 'call-outs' for the utilization of Drug Recognition Experts (DRE's) to evaluate/assess subjects arrested for Driving While Ability Impaired by Drugs or Driving While Ability Impaired by Drugs and Alcohol.

There are 8 Enforcement Crackdown details scheduled throughout the year (see below).

Halloween: October 30-November 3, 2013
Thanksgiving: November 27-December 1, 2013
Holiday Season (National): December 13 – January 1
Super Bowl: January 31-February 3, 2014
St. Patrick's Day: March 14-18, 2014
Memorial Day: May 22 – May 27, 2014
Fourth of July: July 3- July 7, 2014
Labor Day (National): August 15-September 1, 2014

The participants in the details will be reimbursed according to number of hours worked and the actual authorized pay rates of the participating officers. Reimbursement is for enforcement during the dates of the impaired driving mobilizations and cannot be transferred for any other purpose. Fringe will not be reimbursed.

Reimbursement forms as well as detail activity sheets will be provided to the enforcement agency by the STOP-DWI Coordinator and at the completion of the checkpoint/saturation patrols, are to be completed, signed by a supervisor and submitted to the STOP-DWI office at 112 E. Post Road, 3rd Floor, White Plains, New York 10601

Drug Recognition Experts

Drug Recognition Experts (DRE's) are used to evaluate/assess (substantiate) charges of drug influence in subjects *arrested* for Driving While Ability Impaired by Drugs or Driving While Ability Impaired by Drugs and Alcohol.

Each law enforcement agency participating in the STOP-DWI Program's DRE Reimbursement Initiative must adopt the following procedure for their processing of subjects suspected of driving impaired by drugs, or drugs and alcohol.

DRE Call Out Procedure:

1. The New York State Foundation will reimburse the actual hourly rate and hours that the officer was called out up to a maximum of 4 hours per call out. Use the PS-1 sheet signed by the DRE's supervisor. (Form provided by the STOP-DWI Coordinator)
2. Before a DRE can be called out, the following must occur.
 - The arresting officer must have completed his entire SFST field test and see signs of impairment.
 - The officer must administer a breathalyzer test to determine the subject's BAC.
 - If the subject has a BAC of .16 or higher there is no reason to call a DRE. If the subject refuses the test and you think drugs may be involved you should consult with a DRE.
 - The only exception to this would be for serious injuries or fatal crash.

To receive reimbursement for a call out the following must be provided:

1. Submit a copy of the breathalyzer ticket or refusal form.
2. Copy of the DRE Face Sheet and the narrative.
3. Copy of the lab submission form.

SCHEDULE B
STANDARD INSURANCE PROVISIONS
(MUNICIPALITY)

1. Prior to commencing work, the Municipality shall obtain at its own cost and expense the required insurance from insurance companies licensed in the State of New York, carrying a Best's financial rating of A or better, and shall provide evidence of such insurance to the County of Westchester, as may be required and approved by the Director of Risk Management of the County. The policies or certificates thereof shall provide that thirty days prior to cancellation or material change in the policy, notices of same shall be given to the Director of Risk Management of the County of Westchester by registered mail, return receipt requested, for all of the following stated insurance policies. All notices shall name the Municipality and identify the Agreement.

If at any time any of the policies required herein shall be or become unsatisfactory to the County, as to form or substance, or if a company issuing any such policy shall be or become unsatisfactory to the County, the Municipality shall upon notice to that effect from the County, promptly obtain a new policy, submit the same to the Department of Risk Management of the County of Westchester for approval and submit a certificate thereof. Upon failure of the Municipality to furnish, deliver and maintain such insurance, the Agreement, at the election of the County, may be declared suspended, discontinued or terminated. Failure of the Municipality to take out, maintain, or the taking out or maintenance of any required insurance, shall not relieve the Municipality from any liability under the Agreement, nor shall the insurance requirements be construed to conflict with or otherwise limit the contractual obligations of the Municipality concerning indemnification. All property losses shall be made payable to and adjusted with the County.

In the event that claims, for which the County may be liable, in excess of the insured amounts provided herein are filed by reason of any operations under the Agreement, the amount of excess of such claims or any portion thereof, may be withheld from payment due or to become due the Municipality until such time as the Municipality shall furnish such additional security covering such claims in form satisfactory to the County of Westchester.

2. The Municipality shall provide proof of the following coverage (if additional coverage is required for a specific agreement, those requirements will be described in the "Special Conditions" of the contract specifications):

(a) Workers' Compensation. Certificate form C-105.2 (9/07) or State Fund Insurance Company form U-26.3 is required for proof of compliance with the New York State Workers' Compensation Law. State Workers' Compensation Board form DB-120.1 is required for proof of compliance with the New York State Disability Benefits Law. Location of operation shall be "All locations in Westchester County, New York."

Where an applicant claims to not be required to carry either a Workers' Compensation Policy or Disability Benefits Policy, or both, the employer must complete NYS form CE-200, available to download at: www.wcb.state.ny.us (click on Employers/Businesses, then Business Permits/Licenses/Contracts to see instruction manual).

If the employer is self-insured for Worker's Compensation, he/she should present a certificate from the New York State Worker's Compensation Board evidencing that fact (Either SI-12, Certificate of Workers' Compensation Self-Insurance, or GSI-105.2, Certificate of Participation in Workers' Compensation Group Self-Insurance).

(b) Employer's Liability with minimum limit of \$100,000.00.

(c) Commercial General Liability Insurance with a minimum limit of liability per occurrence of \$1,000,000.00 for bodily injury and \$100,000.00 for property damage or a combined single limit of \$1,000,000.00 (c.s.l.), naming the County of Westchester as an additional insured. This insurance shall indicate the following coverages:

- (i) Premises - Operations.
- (ii) Broad Form Contractual.

(d) Automobile Liability Insurance with a minimum limit of liability per occurrence of \$1,000,000.00 per occurrence for bodily injury and a minimum limit of \$100,000.00 per occurrence for property damage or a combined single limit of \$1,000,000.00 unless otherwise indicated in the contract specifications. This insurance shall include for bodily injury and property damage the following coverages:

- (i) Owned automobiles.
- (ii) Hired automobiles.
- (iii) Non-owned automobiles.

3. All policies of the Municipality shall be endorsed to contain the following clauses:

(a) Insurers shall have no right to recovery or subrogation against the County of Westchester (including its employees and other agents and agencies), it being the intention of the parties that the insurance policies so effected shall protect both parties and be primary coverage for any and all losses covered by the above-described insurance.

(b) The clause "other insurance provisions" in a policy in which the County of Westchester is named as an insured, shall not apply to the County of Westchester.

(c) The insurance companies issuing the policy or policies shall have no recourse against the County of Westchester (including its agents and agencies as aforesaid) for payment of any premiums or for assessments under any form of policy.

(d) Any and all deductibles in the above described insurance policies shall be assumed by and be for the account of, and at the sole risk of, the Municipality.

SCHEDULE "C"
Westchester County Vendor Direct Program Frequently Asked Questions

1. WHAT ARE THE BENEFITS OF THE ELECTRONIC FUNDS TRANSFER (EFT) ASSOCIATED WITH THE VENDOR DIRECT PROGRAM?

There are several advantages to having your payments automatically deposited into your designated bank account via EFT:

Payments are secure – Paper checks can be lost in the mail or stolen, but money deposited directly into your bank account is more secure.

You save time – Money deposited into your bank account is automatic. You save the time of preparing and delivering the deposit to the bank. Additionally, the funds are immediately available to you.

2. ARE MY PAYMENTS GOING TO BE PROCESSED ON THE SAME SCHEDULE AS THEY WERE BEFORE VENDOR DIRECT?

Yes.

3. HOW QUICKLY WILL A PAYMENT BE DEPOSITED INTO MY ACCOUNT?

Payments are deposited two business days after the voucher/invoice is processed. Saturdays, Sundays, and legal holidays are not considered business days.

4. HOW WILL I KNOW WHEN THE PAYMENT IS IN MY BANK ACCOUNT AND WHAT IT IS FOR?

Under the Vendor Direct program you will receive an e-mail notification two days prior to the day the payment will be credited to your designated account. The e-mail notification will come in the form of a remittance advice with the same information that currently appears on your check stub, and will contain the date that the funds will be credited to your account.

5. WHAT IF THERE IS A DISCREPANCY IN THE AMOUNT RECEIVED?

Please contact your Westchester County representative as you would have in the past if there were a discrepancy on a check received.

6. WHAT IF I DO NOT RECEIVE THE MONEY IN MY DESIGNATED BANK ACCOUNT ON THE DATE INDICATED IN THE E-MAIL?

In the unlikely event that this occurs, please contact the Westchester County Accounts Payable Department at 914-995-4708.

7. WHAT MUST I DO IF I CHANGE MY BANK OR MY ACCOUNT NUMBER?

Whenever you change any information or close your account a new Vendor Direct Payment Authorization Form must be submitted. Please contact the Westchester County Accounts Payable Department at 914-995-4708 and we will e-mail you a new form.

8. WHEN COMPLETING THE PAYMENT AUTHORIZATION FORM, WHY MUST I HAVE IT SIGNED BY A BANK OFFICIAL IF I DON'T INCLUDE A VOIDED CHECK?

This is to ensure the authenticity of the account being set up to receive your payments.



Westchester County • Department of Finance • Treasury Division

Electronic Funds Transfer (EFT) Vendor Direct Payment Authorization Form

Authorization is:
(check one)

- New
- Change

INSTRUCTIONS: Please complete both sections of this Authorization Form and attach a voided check. See the reverse side for more information and instructions.

Mail to: Westchester County, Department of Finance, Treasury Division, 148 Martine Avenue, White Plains, NY 10601
Attention: Vendor Direct

Section I - Vendor Information

1. Vendor Name:

2. Taxpayer ID Number or Social Security Number:

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3. Vendor Primary Address

4. Contact Person Name:

Contact Person Telephone Number:

5. Vendor E-Mail Addresses for Remittance Notification:

6. Vendor Certification: *I have read and understand the Vendor Direct Payment Program and hereby authorize payments to be received by electronic funds transfer into the bank that I designate in Section II. I further understand that in the event that an erroneous electronic payment is sent, Westchester County reserves the right to reverse the electronic payment. In the event that a reversal cannot be implemented, Westchester County will utilize any other lawful means to retrieve payments to which the payee was not entitled.*

Authorized Signature

Print Name/Title

Date

Section II- Financial Institution Information

7. Bank Name:

8. Bank Address:

9. Routing Transit Number:

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10. Account Type:
(check one)

Checking

Savings

11. Bank Account Number:

12. Bank Account Title:

13. Bank Contact Person Name:

Telephone Number:

14. FINANCIAL INSTITUTION CERTIFICATION (required **ONLY** if directing funds into a Savings Account **OR** if a voided check is not attached to this form): *I certify that the account number and type of account is maintained in the name of the vendor named above. As a representative of the named financial Institution, I certify that this financial Institution is ACH capable and agrees to receive and deposit payments to the account shown.*

Authorized Signature

Print Name / Title

Date

(Leave Blank - to be completed by
Westchester County) - Vendor number assigned

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Electronic Funds Transfer (EFT) Vendor Direct Payment Authorization Form

GENERAL INSTRUCTIONS

Please complete both sections of the Vendor Direct Payment Authorization Form and forward the completed form (along with a voided check for the account to which you want your payments credited) to: Westchester County Department of Finance, 148 Martine Ave, Room 720, White Plains, NY 10601, Attention: Vendor Direct. Please see item 14 below regarding attachment of a voided check.

Section I - VENDOR INFORMATION

1. Provide the name of the vendor as it appears on the W-9 form.
2. Enter the vendor's Taxpayer ID number or Social Security Number as it appears on the W-9 form.
3. Enter the vendor's complete primary address (not a P.O. Box).
4. Provide the name and telephone number of the vendor's contact person.
5. Enter the business e-mail address for the remittance notification. THIS IS VERY IMPORTANT. This is the e-mail address that we will use to send you notification and remittance information two days prior to the payment being credited to your bank account. We suggest that you provide a group mailbox (if applicable) for your e-mail address. You may also designate multiple e-mail addresses.
6. Please have an authorized Payee/Company official sign and date the form and include his/her title.

Section II - FINANCIAL INSTITUTION INFORMATION

7. Provide bank's name.
8. Provide the complete address of your bank.
9. Enter your bank's 9 digit routing transit number.
10. Indicate the type of account (check one box only).
11. Enter the vendor's bank account number.
12. Enter the title of the vendor's account.
13. Provide the name and telephone number of your bank contact person.
14. If you are directing your payments to a Savings Account OR you can not attach a voided check for your checking account, this line needs to be completed and signed by an authorized bank official. IF YOU DO ATTACH A VOIDED CHECK FOR A CHECKING ACCOUNT, YOU MAY LEAVE THIS LINE BLANK.



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Police Department

BOT Meeting Date: 12/1/2014

Item Type: Resolution

Sponsor's Name: Richard F. Conway, Chief Police

Description	Yes	No	Description	Yes	No
Fiscal Impact	x	<input type="checkbox"/>	Public Hearing Required	<input type="checkbox"/>	x
Funding Source:DEA Asset Forfeiture Account #:001-0001-0695			BID #		
			Strategic Plan Priority Area		
			Public Safety		
	Yes	No	Manager Priorities		
Agreement	<input type="checkbox"/>	x	Other		
Strategic Plan Related	<input type="checkbox"/>	x			

Agenda Heading Title
(Will appear on the Agenda as indicated below)

Transfer of \$5000.00 from DEA funds to the Service Equipment Account for the Purchase of Medical Equipment consisting of but not limited to: 2-Automated External Defibrulators, 12-Oxygen Bags, 20-CAT Tourniquets, 40- Packages of Quick Clot Gauze, 20-Asherman Chest Seals

Summary

Background: The Department would like to upgrade its emergency response capability with medical gear developed in battlefield conditions. All members of the Department have completed an 8 hour course of study in the deployment of these supplies

Proposed Action

That the Board of Trustees adopt the Resolution

Attachments

--

**RESOLUTION
BUDGET AMENDMENT – DEA FUNDS TO PURCHASE
AND UPGRADE THE POLICE DEPARTMENT MEDICAL EQUIPMENT
FOR EMERGENCY RESPONSE**

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Police Chief is recommending the use of DEA Asset Forfeiture Funds to purchase and upgrade its emergency medical equipment consisting of but not limited to: 2 Automated External Defibrulators, 12 Oxygen Bags, 20-CAT Tourniquets, 40 Packages of Quick Clot Gauze, 20 Asherman Chest Seals for a total cost of \$5,000 from Moore Medical, 169 New Britain Avenue, Suite A, Farmington, CT 06032. Now, therefore be it

RESOLVED, that the Board of Trustees of the Village of Port Chester, New York hereby authorizes the Village Treasurer to modify the 2014-15 General Fund Budget as follows:

GENERAL FUND

Balance Sheet:

001-001-0695	Deferred Revenue Police DEA	\$(5,000.00)
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Revenues:

001-0001-2613	Use of Deferred DEA Revenue	\$5,000.00
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Appropriations:

001-3120-0220	Police Service Equipment	\$5,000.00
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APPROVED AS TO FORM:

Village Attorney
Anthony Cerreto

ROLL CALL

AYES:

NOES:

ABSENT:

DATE:



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Office of the Village Manager

BOT Meeting Date: 12/1/2014

Item Type: Resolution

Sponsor's Name: Christopher D. Steers, Village Manager

Description	Yes	No	Description	Yes	No
Fiscal Impact		x	Public Hearing Required		x
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	Business & Economic Development		
Agreement		x	Manager Priorities		
Strategic Plan Related	x		Other		

Agenda Heading Title
(Will appear on the Agenda as indicated below)

DESIGNATION OF DOWNTOWN HOLIDAY FREE PARKING PERIOD

Summary

Background:

The Village traditionally offers a free parking period in late December to encourage economic interest in the downtown. The associated costs of this program should be considered along with the request.

The Village does not have December data on parking utilization due to the granting of this request in previous years. Recent rate and regulation changes also complicate estimates. With that in mind, Reports were run on comperable time periods in recent months to determine estimated revenue losses.

Reports from Aug-Oct show that comperable 12 day periods generated about \$28-\$30,000 in revenue.

Reports from 2013 indicate the village still gained about \$7,000 in revenues from these meters during the Holiday Free Parking Period.

Staff is forecasting approximately \$25,000 in revenue losses for the program this year.

Benefits to the Village are harder to quantify. However, surveys of surrounding municipalities indicate we are in the minority of communities offering such a program.

The attached resolution for the Board's Consideration includes the same larger scope of street locations provide for in the Free Parking Period last year.

The resolution before you contains a list of streets that is identical to the list approved last year. Staff would caution trimming the list back piecemeal as disrupting the existing expectations may create confusion and enforcement issues that could negate the positive benefits of the program.

Attachments

Resolution

Chamber of Commerce Request Letter is in correspondence

RESOLUTION

AUTHORIZATION OF FREE HOLIDAY PARKING FOR 2014

On motion of TRUSTEE _____, seconded by TRUSTEE _____, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, by letter from the President of the Chamber of Commerce dated November 20, 2014, request has been made for Holiday parking in the downtown; and

WHEREAS, this practice has been a tradition in the Village of Port Chester for many years; and

WHEREAS, this practice encourages shoppers and visitors to the Village and promotes its' reputation as the "Restaurant Capital of Westchester County", thereby increasing property values and the Village's tax base. Now, therefore, be

RESOLVED, that enforcement be suspended so that there will be free parking within all posted limitations of parking time limits and hours from December 20, 2014 through December 31, 2014 on North Main Street between the railroad bridge and Westchester Avenue, South Main Street, Abendroth Avenue, Willett Avenue between Abendroth Avenue and Marvin Place, Adee Street, Marvin Place, Westchester Avenue east of the Library to Liberty Square, Lower King Street north to the railroad bridge, and the following municipal parking lots: Highland Street (Lot 11), East Broadway (Lot 18), Willett Avenue (Lot 16) and Adee Street (Lot 17).

APPROVED AS TO FORM:

Village Attorney, Anthony Cerreto

ROLL CALL

AYES:

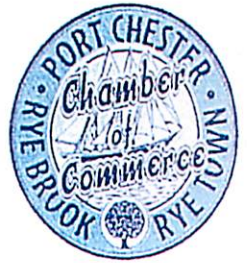
NOES:

ABSENT:

DATE:

www.pcrbchamber.com
pcrbchamber@gmail.com
Tel 914-939-1900 Fax 914-437-7779

222 Grace Church Street
Suite 301 A
Port Chester, NY 10573



VILLAGE OF PORT CHESTER

NOV 20 2014

RECEIVED

*Ken Manning -
President*

*Chairman-BOD
Frank Madonia*

November 20, 2014

*Vice Chairman-BOD
Gerald Logan*

*Treasurer
Dan Colangelo*

Mayor Neil Pagano and
Board of Trustees
Village of Port Chester
222 Grace Church Street
Port Chester, NY 10573

*Chairman Emeritus
Michael Borrelli*

*Ex Officio Members:
Christopher Steers
Christopher Bradbury*

Gentlemen:

*Secretaries:
Toni Rovello
Donna Mead*

On behalf of the Port Chester/Rye Brook/Rye Town Chamber of Commerce, I am making our annual request for the Village of Port Chester to allow free street parking (with a two-hour limit) on North Main Street, South Main Street, Abendroth Avenue, the lower portion of Willett Avenue from North Main Street to Abendroth Avenue, and Westchester Avenue from December 20 through and including December 31, 2014.

*Board of Directors:
Richard Abel
Michael Borrelli
Dan Colangelo
George S. Latimer
Gerald L. Logan
Frank Madonia
Ken Manning
Scott Moore
Richard Reidy
Martin Rogowsky
Pat Sestito
Roman E. Ciocek
James Wright
Neil Pagano*

Thank you for your consideration.

Sincerely,

Ken Manning
President

VM
JAN 2

EMS Transaction Summary

Date/Time: 08/16/2014 00:00:00 to 08/27/2014 23:59:59 EDT

Ticket #: All

Setting: All

Coupon Code: N/A

Region/Pay Station: Machine 2001,Machine 2002,Machine 2009,Machine 3001,Machine 3002,Machine 3003,Machine 3004,Machine 3005,Machine 3006,Machine 3007,Machine 3008,Machine 3009,Machine 3010,Machine 3011,Machine 3012,Machine 3013,Machine 3014,Machine 3015,Machine 3016,Machine 3017,Machine 3018,Machine 4003,Machine 4004,Machine 4005,Machine 4006,Machine 5001,Machine 5002,Machine 5003,Machine 5004,Machine 5005,Machine 5006,Machine 5007,Machine 5008,Machine 5009,Machine 5010,Machine 5011,Machine 5012,Machine 5013,Machine 5014,Machine 5017,Machine 5018,Machine 5019,Machine 6001,Machine 6002,Machine 6003,Machine 6004,Machine 6005,Machine 6006,Machine 6007,Machine 6008

Transaction Type: All

Stall Number: N/A

Plate Number:

Grouping: None

Overall Summary

CASH			CREDIT CARD			PATROLLER CARD			TOTAL		
Total Collections	27675	\$22219.75	Total Collections	3978	\$6517.00	Revenue	0	\$0.00	Total Transactions		31654
Revenue	27675	\$22219.75	Revenue	3978	\$6517.00	Test Transactions	0	\$0.00	Total Collections	31625	\$28736.75
Change Issued	0	\$0.00							Revenue	31625	\$28736.75
Refund Tickets	0	\$0.00	VALUE CARD			SMART CARD					
Total Refunds	0	\$0.00	Total Collections	0	\$0.00	Revenue	0	\$0.00			
Excess Payment	1395	\$823.35	Revenue	0	\$0.00	Recharges	0	\$0.00			
Attendant Deposit	0	\$0.00									

EMS Transaction Summary

Date/Time: 09/13/2014 00:00:00 to 09/24/2014 23:59:59 EDT

Ticket #: All

Setting: All

Coupon Code: N/A

Region/Pay Station: Machine 2001,Machine 2002,Machine 2009,Machine 3001,Machine 3002,Machine 3003,Machine 3004,Machine 3005,Machine 3006,Machine 3007,Machine 3008,Machine 3009,Machine 3010,Machine 3011,Machine 3012,Machine 3013,Machine 3014,Machine 3015,Machine 3016,Machine 3017,Machine 3018,Machine 4003,Machine 4004,Machine 4005,Machine 4006,Machine 5001,Machine 5002,Machine 5003,Machine 5004,Machine 5005,Machine 5006,Machine 5007,Machine 5008,Machine 5009,Machine 5010,Machine 5011,Machine 5012,Machine 5013,Machine 5014,Machine 5017,Machine 5018,Machine 5019,Machine 6001,Machine 6002,Machine 6003,Machine 6004,Machine 6005,Machine 6006,Machine 6007,Machine 6008

Transaction Type: All

Stall Number: N/A

Plate Number:

Grouping: None

Overall Summary

CASH			CREDIT CARD			PATROLLER CARD			TOTAL		
Total Collections	27205	\$21419.25	Total Collections	4426	\$7667.30	Revenue	0	\$0.00	Total Transactions		31661
Revenue	27205	\$21419.25	Revenue	4426	\$7667.30	Test Transactions	0	\$0.00	Total Collections	31613	\$29086.55
Change Issued	0	\$0.00							Revenue	31613	\$29086.55
Refund Tickets	0	\$0.00	VALUE CARD			SMART CARD					
Total Refunds	0	\$0.00	Total Collections	0	\$0.00	Revenue	0	\$0.00			
Excess Payment	1485	\$880.25	Revenue	0	\$0.00	Recharges	0	\$0.00			
Attendant Deposit	0	\$0.00									

EMS Transaction Summary

Date/Time: 10/18/2014 00:00:00 to 10/29/2014 23:59:59 EDT

Ticket #: All

Setting: All

Coupon Code: N/A

Region/Pay Station: Machine 2001,Machine 2002,Machine 2009,Machine 3001,Machine 3002,Machine 3003,Machine 3004,Machine 3005,Machine 3006,Machine 3007,Machine 3008,Machine 3009,Machine 3010,Machine 3011,Machine 3012,Machine 3013,Machine 3014,Machine 3015,Machine 3016,Machine 3017,Machine 3018,Machine 4003,Machine 4004,Machine 4005,Machine 4006,Machine 5001,Machine 5002,Machine 5003,Machine 5004,Machine 5005,Machine 5006,Machine 5007,Machine 5008,Machine 5009,Machine 5010,Machine 5011,Machine 5012,Machine 5013,Machine 5014,Machine 5017,Machine 5018,Machine 5019,Machine 6001,Machine 6002,Machine 6003,Machine 6004,Machine 6005,Machine 6006,Machine 6007,Machine 6008

Transaction Type: All

Stall Number: N/A

Plate Number:

Grouping: None

Overall Summary

CASH			CREDIT CARD			PATROLLER CARD			TOTAL			
Total Collections	26287	\$21088.50	Total Collections	4274	\$7552.50	Revenue	0	\$0.00	Total Transactions	30577		
Revenue	26287	\$21088.50	Revenue	4274	\$7552.50	Test Transactions	0	\$0.00	Total Collections	30542	\$28641.00	
Change Issued	0	\$0.00							Revenue	30542	\$28641.00	
Refund Tickets	0	\$0.00										
Total Refunds	0	\$0.00	VALUE CARD			SMART CARD						
Excess Payment	1226	\$779.25	Total Collections	0	\$0.00	Revenue	0	\$0.00				
Attendant Deposit	0	\$0.00	Revenue	0	\$0.00	Recharges	0	\$0.00				

EMS Transaction Summary

Date/Time: 12/20/2013 00:00:00 to 12/30/2013 23:59:59 EST

Ticket #: All

Setting: All

Coupon Code: N/A

Region/Pay Station: Machine 2001,Machine 2002,Machine 2009,Machine 3001,Machine 3002,Machine 3003,Machine 3004,Machine 3005,Machine 3006,Machine 3007,Machine 3008,Machine 3009,Machine 3010,Machine 3011,Machine 3012,Machine 3013,Machine 3014,Machine 3015,Machine 3016,Machine 3017,Machine 3018,Machine 4003,Machine 4004,Machine 4005,Machine 4006,Machine 5001,Machine 5002,Machine 5003,Machine 5004,Machine 5005,Machine 5006,Machine 5007,Machine 5008,Machine 5009,Machine 5010,Machine 5011,Machine 5012,Machine 5013,Machine 5014,Machine 5017,Machine 5018,Machine 5019,Machine 6001,Machine 6002,Machine 6003,Machine 6004,Machine 6005,Machine 6006,Machine 6007,Machine 6008

Transaction Type: All

Stall Number: N/A

Plate Number:

Grouping: None

Overall Summary

CASH			CREDIT CARD			PATROLLER CARD			TOTAL			
Total Collections	7047	\$5569.25	Total Collections	634	\$908.75	Revenue	0	\$0.00	Total Transactions	7695		
Revenue	7047	\$5569.25	Revenue	634	\$908.75	Test Transactions	0	\$0.00	Total Collections	7678	\$6478.00	
Change Issued	0	\$0.00							Revenue	7678	\$6478.00	
Refund Tickets	0	\$0.00										
Total Refunds	0	\$0.00	VALUE CARD			SMART CARD						
Excess Payment	119	\$133.25	Total Collections	0	\$0.00	Revenue	0	\$0.00				
Attendant Deposit	0	\$0.00	Revenue	0	\$0.00	Recharges	0	\$0.00				



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Department: Office of the Village Manager

BOT Meeting Date: 12/1/2014

Item Type: Resolution

Sponsor's Name: Select Sponsor's Name.

Description	Yes	No	Description	Yes	No
Fiscal Impact		x	Public Hearing Required		x
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area		
	Yes	No	Downtown TOD		
Agreement		x	Manager Priorities		
Strategic Plan Related	x		Other		

Agenda Heading Title
(Will appear on the Agenda as indicated below)

CREATION OF A NO PARKING ZONE ON N. PEARL FOR DRIVER SAFETY

Summary

Background:

The Planning Commission and Traffic Commission have both requested the removal of a parking space in front of 120 N. Pearl Street to allow cars coming out of the proposed parking garage there to see oncoming traffic to the left. The current parking space there would allow parked vehicles to hinder the view of exiting drivers. (see the attached site plan, area map, and photo.)

An assessment of the cost of the removal of the space has been done and there will likely be little to no lost revenue.

The space is served by an old style parking meter, removal of which aids the village is reducing our maintenance costs for these outdated devices. A review of the data we have on the parking on that block indicates an oversupply of metered parking spaces. The average of the 25 or so spaces on the

block takes in approximately \$375-\$400 a year. The average parking space in the village takes in 4 times that amount. Due to the oversupply of parking, any user of this space will have paid alternatives nearby.

The resolution recommended by staff creates a No Parking zone from the proposed driveway East to King Street. The resolution is also conditional upon receipt of a building permit to ensure availability of the space until such a time as the developer is prepared to move the project forward.

Attachments

Site Plans of the Development in Question
Map and Photo of the Area
Resolution

ESTABLISHING A NO-PARKING ZONE ON NORTH PEARL STREET

On motion of TRUSTEE , seconded by TRUSTEE , the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, parking regulations currently allow for parking at a metered space immediately north-east of property located at 120 North Pearl Street; and

WHEREAS, the Planning Commission has granted site plan approval for a multi-family transit-oriented development which shows a proposed driveway to North Pearl Street; and

WHEREAS, the Planning Commission and Traffic Commission has identified the need to remove said parking space so as to improve sight line visibility for users and vehicular traffic on North Pearl Street. Now, therefore, be it

RESOLVED, that the Code of the Village of Port Chester, Chapter 319, Vehicles and Traffic, Schedule XIV, Section 319-74, is hereby amended to read as follows:

Section 319-74 No Parking or Standing

In accordance with the Provisions of 319-20, the parking or standing of vehicles is prohibited at all times in the following locations:

<u>Name of Street</u>	<u>Side</u>	<u>Location</u>
(Add) N. Pearl Street	North	From the North West Intersection with King Street, West for a distance of 150 feet to the Driveway of 120 N. Pearl Street

and be it further

RESOLVED, that this resolution shall be effective upon the issuance of the building permit for the project referenced herein.

APPROVED AS TO FORM:

Village Attorney, Anthony Cerreto

ROLL CALL

AYES:

NOES:

ABSENT:

DATE:



PROPOSED 50 UNIT MULTIFAMILY AT 120 NORTH PEARL STREET PORT CHESTER WESTCHESTER COUNTY, NEW YORK

DEVELOPMENT SUMMARY

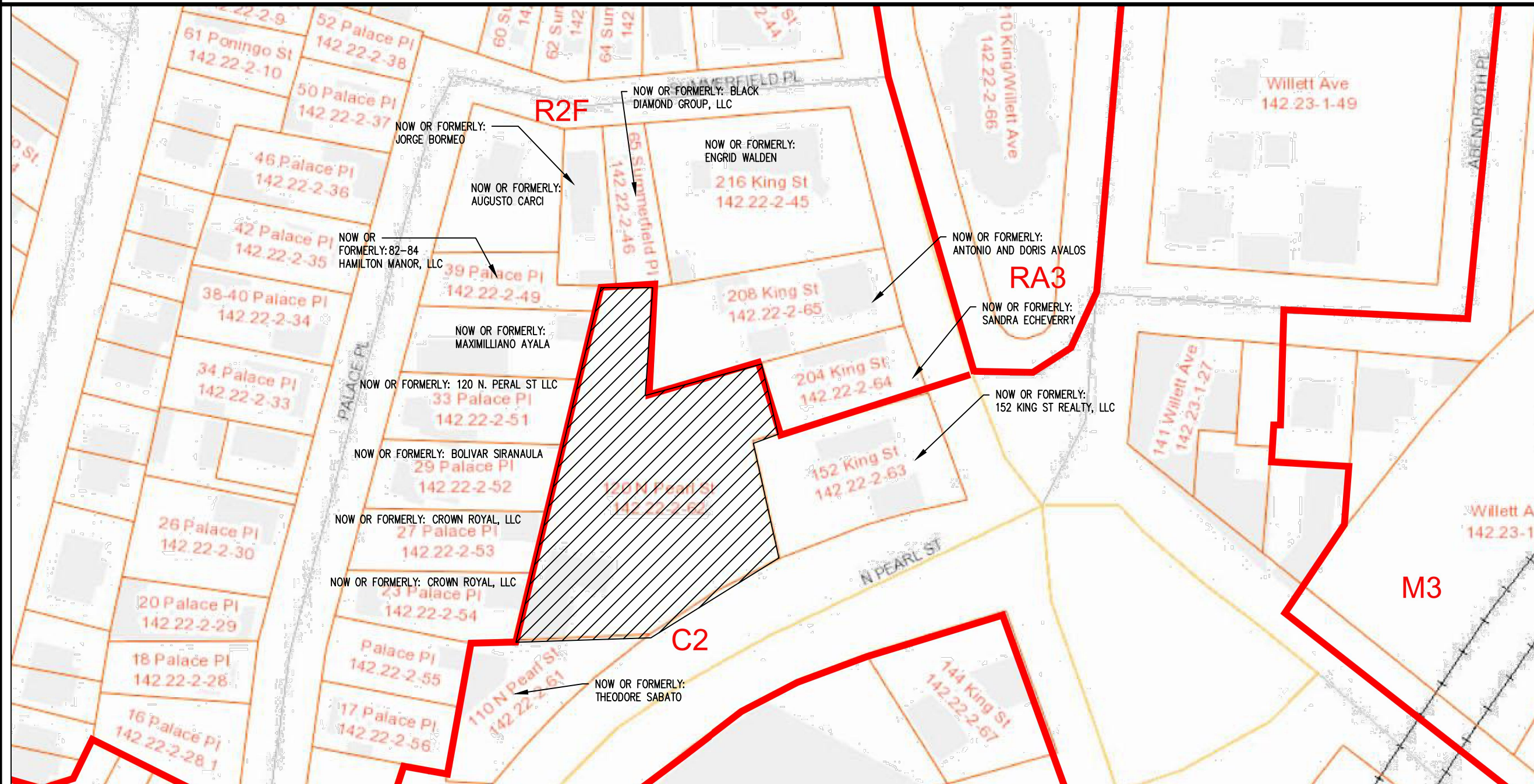
ZONE: C2 (MAIN STREET BUSINESS)
PROPOSED USE: (50) UNIT MULTIFAMILY
SECTION: 142.22 BLOCK: 2 LOT: 62

ZONING SUMMARY		
ZONE: C2	REQUIRED	PROPOSED
TOTAL LOT SIZE: 28,753SF	3.2/4.0	2.31
F.A.R.	750/575'	50'
MIN. D.U. AREA MAX. # OF UNITS	40'-0"	113'-0"
MIN. LOT FRONTAGE	NR	238'-0"
MIN. LOT DEPTH	0	6'-0"
MIN. FRONT YARD	0 or 10'/0 or 20'	0'/0 *
MIN. SIDE YARDS (1 / 2)	20'-0"	29'-6"
MIN. REAR YARD	60' / 5 ST	54' / 5 Stories
MAX. BUILDING HEIGHT / STORIES	50'/UNIT = 2450	2500
OPEN SPACE MIN**	0	46
PARKING REQ: NONE	0	2 ***
ACCESSIBLE SPACES	0	2 ***

* 500'-0" MIN. SIDE YARD ADJACENT TO R2F ZONE (VARIANCE REQUIRED)
** USABLE SPACE 20'-0" MIN. DIMENSION
*** INCLUDED IN 46 TOTAL SPACES
DENSITY BONUS TAKEN

UNIT MATRIX				
FLOOR	STUDIO	1 Brm	2Brm	TOTALS
1F	6	8	0	14
2F	3	6	3	12
3F	3	6	3	12
4F	3	6	3	12
TOTAL	15	26	9	50

VICINITY MAP

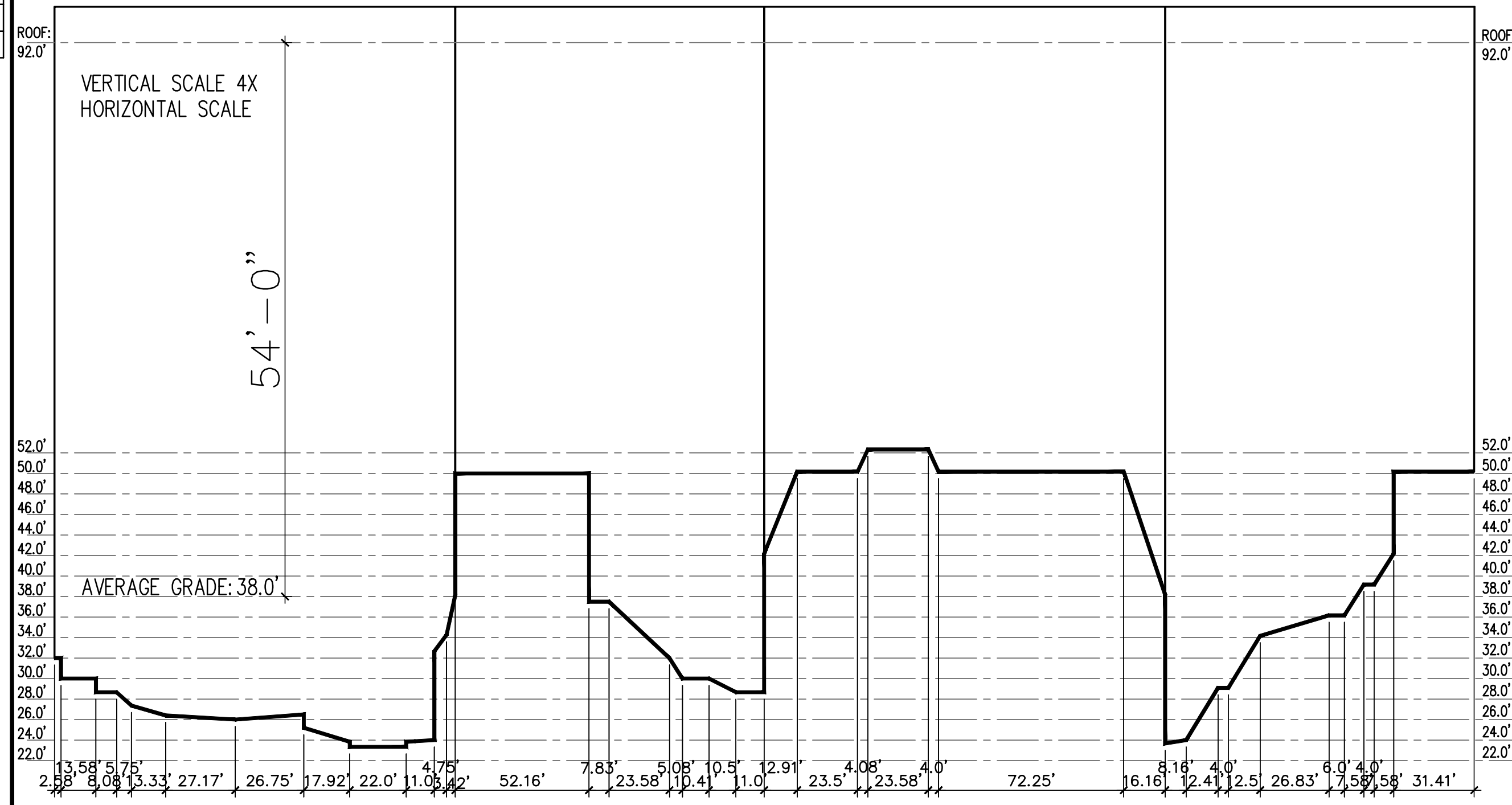


AERIAL VIEW

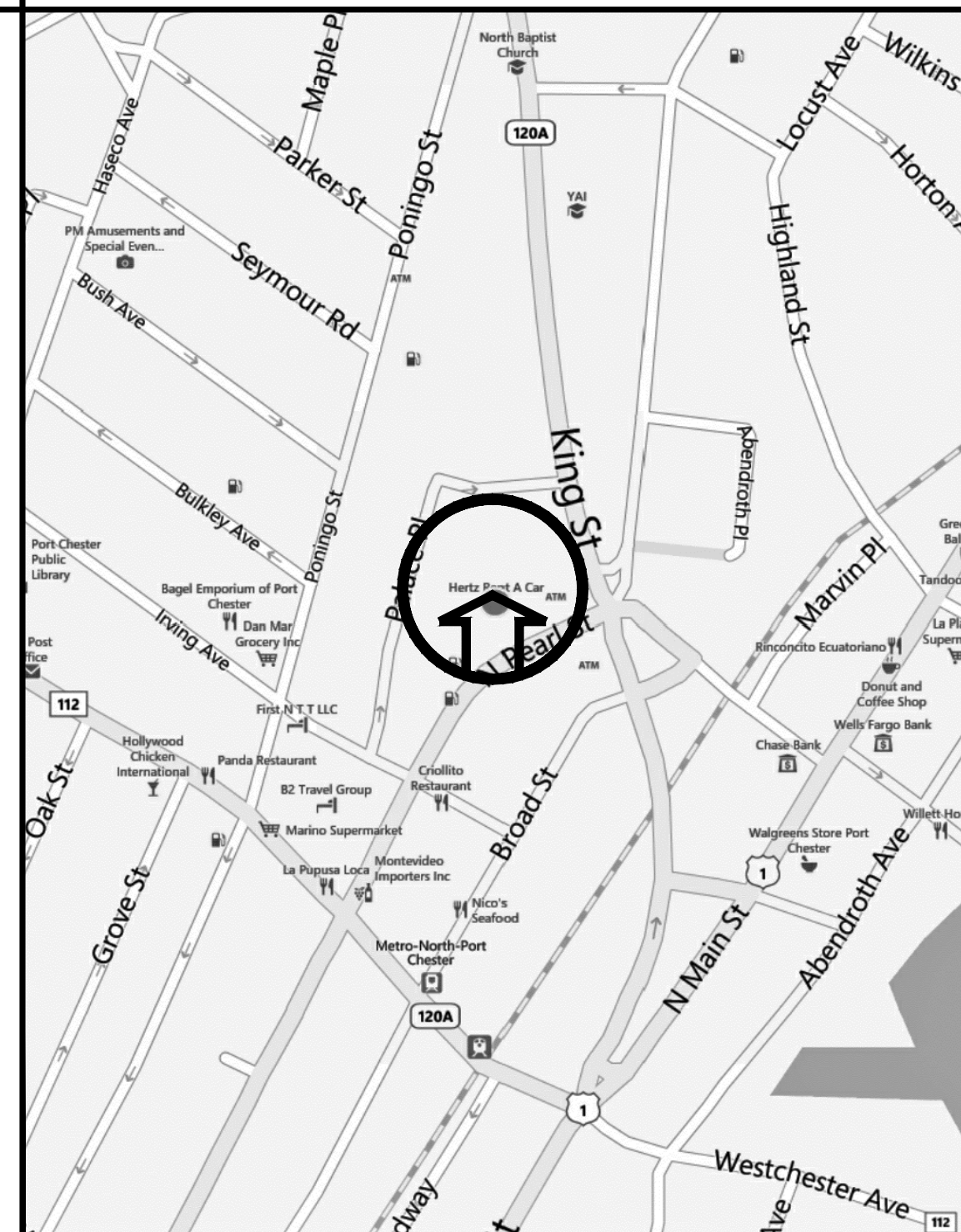


FLOOR AREA RATIO SCHEDULE		
FLOOR	AREA	
GROUND		3,616
MEZZANINE		13,022
FIRST		12,410
SECOND		12,410
THIRD		12,410
FOURTH		12,410
TOTAL		66,278
LOT AREA		28,753
FAR		2.31

AVERAGE GRADE DIAGRAM



LOCATION PLAN



INDEX OF PLANS

Sheet Number	Sheet Title
SD-001	DEVELOPMENT DATA
SD-101	EXISTING SURVEY & SITE LAYOUT PLAN
SD-102	LANDSCAPING PLAN
SD-103	SITE LIGHTING PLAN
SD-104	GRADING AND UTILITIES PLAN
SD-105	EROSION AND SEDIMENT CONTROL PLAN
SD-401	GROUND FLOOR PLAN
SD-402	MEZZANINE FLOOR PLAN
SD-403	FIRST SECOND THIRD & FOURTH FLOOR PLANS & BUILDING SECTION
SD-404	BUILDING ELEVATIONS
SD-405	BUILDING ELEVATIONS
SD-406	PERGOLA PLAN & DETAILS
SD-407	SITE NOTES
SD-408	EXISTING SLOPES PLAN
SD-501	SITE DETAILS
SD-502	SITE DETAILS
SD-503	SITE DETAILS
SD-504	SITE DETAILS
SD-505	SITE DETAILS

Rev. #	Revision Description	Date:

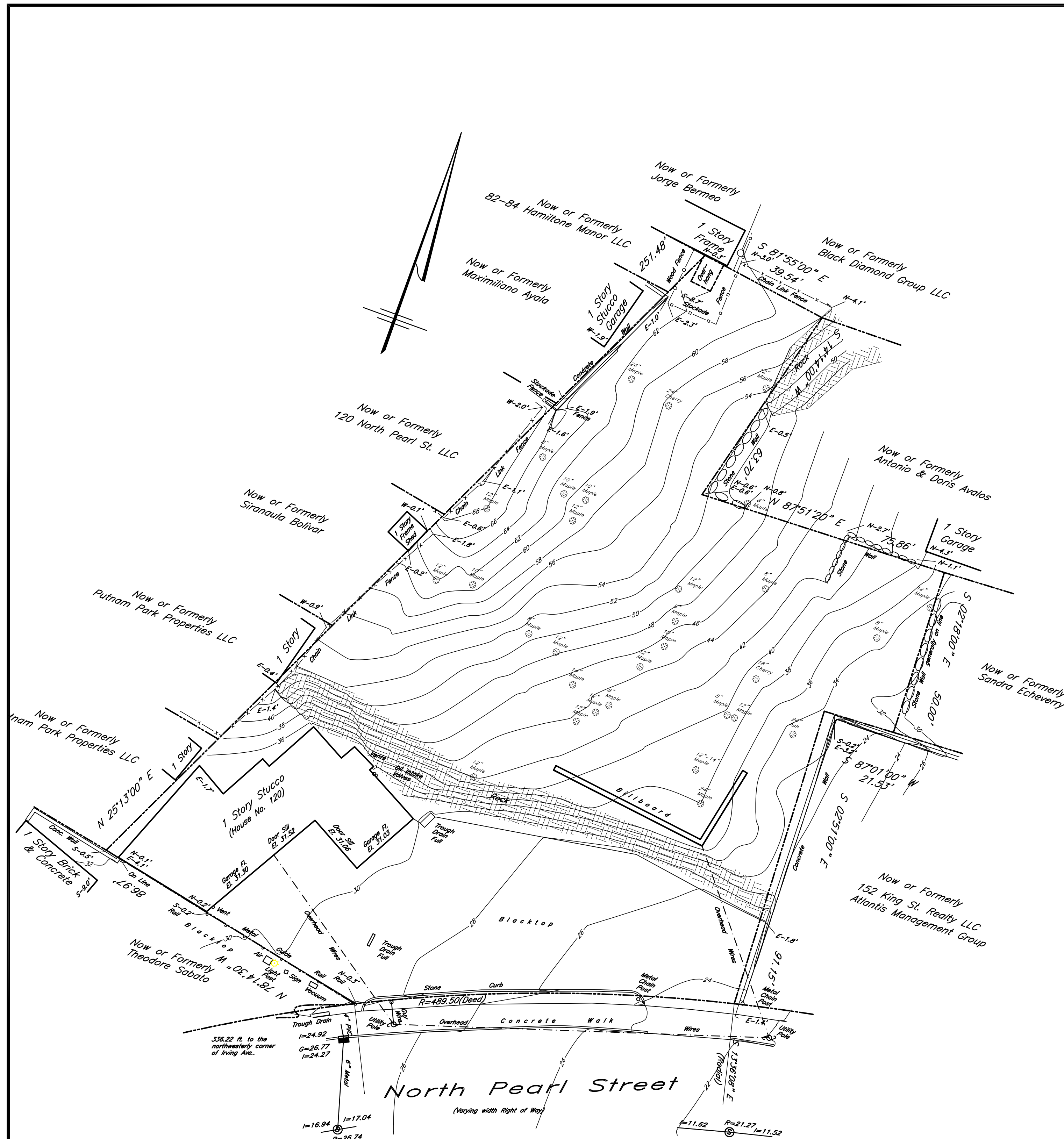
Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

Building Owner:
AGD NORTH PEARL LLC
5 WALLER AVE
WHITE PLAINS, NY 10601

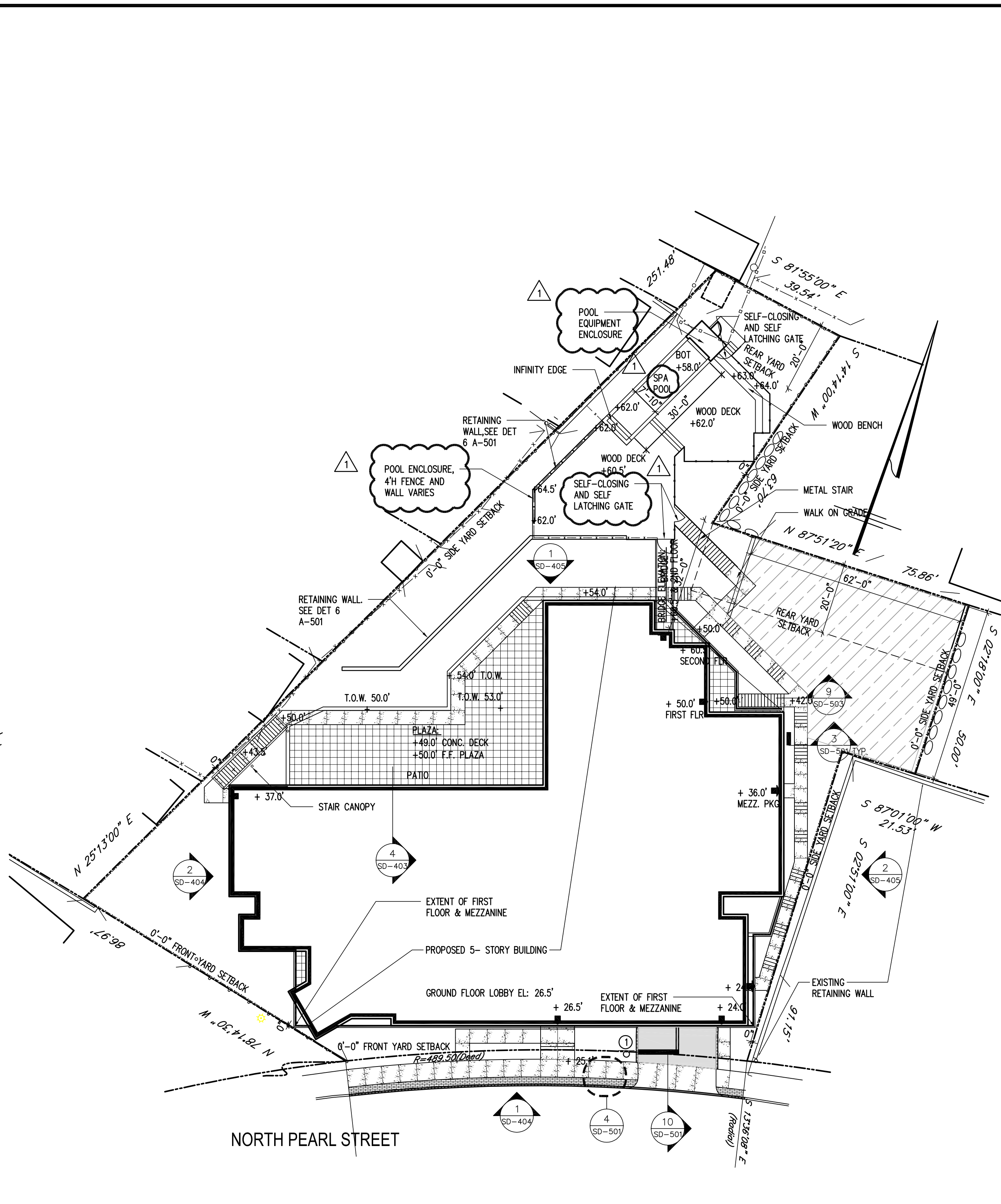
Papp Architects, P.C.
188 East Post Road
White Plains, N.Y. 10601
914 949 1851 Fax 949 5376

Catizone Engineering, P.C.
Civil Engineer
9 Overlook Terrace
Larchmont, NY 10538
914 269 8358

DEVELOPMENT DATA	
Seal & Signature	Date: 3-03-2014
	Scale: AS NOTED
	Job#: 1321
	Sheet Title: SD-001
	Sheet: SHEET INDEX OF TOTAL SHEETS



1 EXISTING SURVEY
1" = 20'



2 SITE LAYOUT PLAN
1" = 20'

PROPERTY LINE AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY WARD CARPENTER ENGINEERS, INC. DATED DECEMBER 19, 2013

LEGEND

- PROPERTY LINE
- NEIGHBORING PROPERTY LINES
- EXIST. TO REMOVE BE REMOVED
- x-x- PROPOSED 4'-0" HIGH CHAIN LINK FENCE, SEE DET. 7 DWG. SD-501
- PROPOSED 6'-0" HIGH WOODEN FENCE, SEE DET. 8 DWG. SD-501
- PROPOSED CONC. CURB SEE DET. 1 DWG SD-501
- GRANITE CURB SEE DET. 10 DWG SD-501
- PROPOSED DEPRESSED GRANITE DROP CURB SEE DET. 11-12-13 DWG. SD-501
- CONCRETE RAMPS & SIDEWALKS SEE DET. 3 DWG SD-501
- ASPHALT PAVEMENT SEE DET. 2 DWG. SD-501
- CONCRETE SIDEWALK WITH STAMPED AND COLORED CONCRETE EDGE. SEE DET. 4. DWG SD-501

SIGN TABLE

NO.	SYMBOL	REGULATION NO.	MOUNTING
1		R1-1	CHANNEL 7'-0"
2		R7-1	CHANNEL 7'-0"
3		R7-8	CHANNEL 7'-0"

NOTES

- THE OWNER SHALL BE RESPONSIBLE FOR RE-PAVING PORTIONS OF CITY STREETS DAMAGED AS A RESULT OF UNDERGROUND UTILITY WORK AND/OR HEAVY CONSTRUCTION EQUIPMENT.
- ALL CONSTRUCTION UNDER THE JURISDICTION OF DPW SHALL BE IN ACCORDANCE WITH CURRENT DPW STANDARDS.

1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
 White Plains, N.Y. 10601
 914 949 1851 Fax 949 5376

Catizone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
EXISTING SURVEY & SITE LAYOUT PLAN

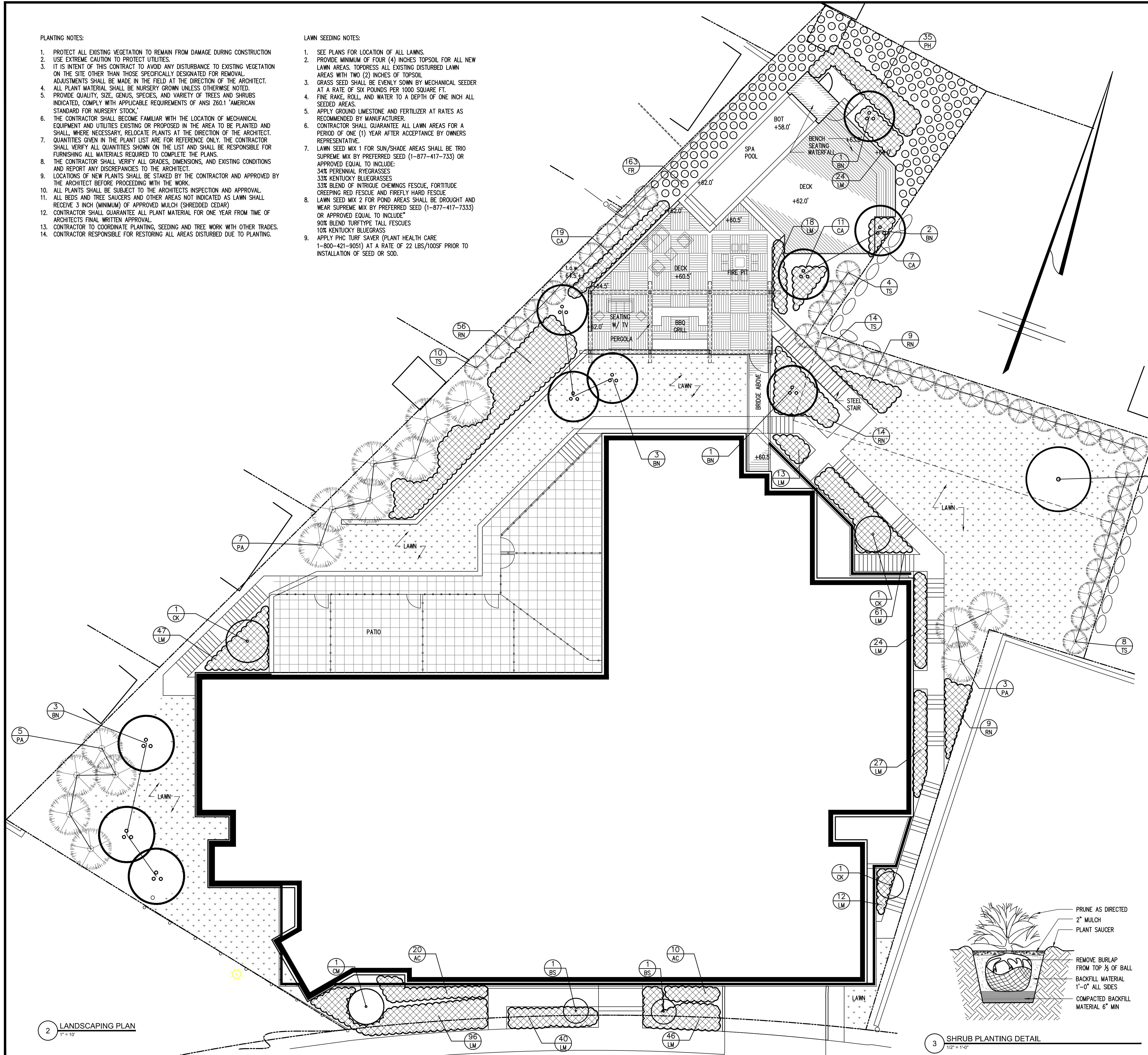
Seal & Signature	Date:	3-03-2014
	Scale:	AS NOTED
	Job#:	1321
	Sheet Title:	SD-101
	Sheet/SHEET INDEX OF TOTAL SHEETS	

PLANTING NOTES:

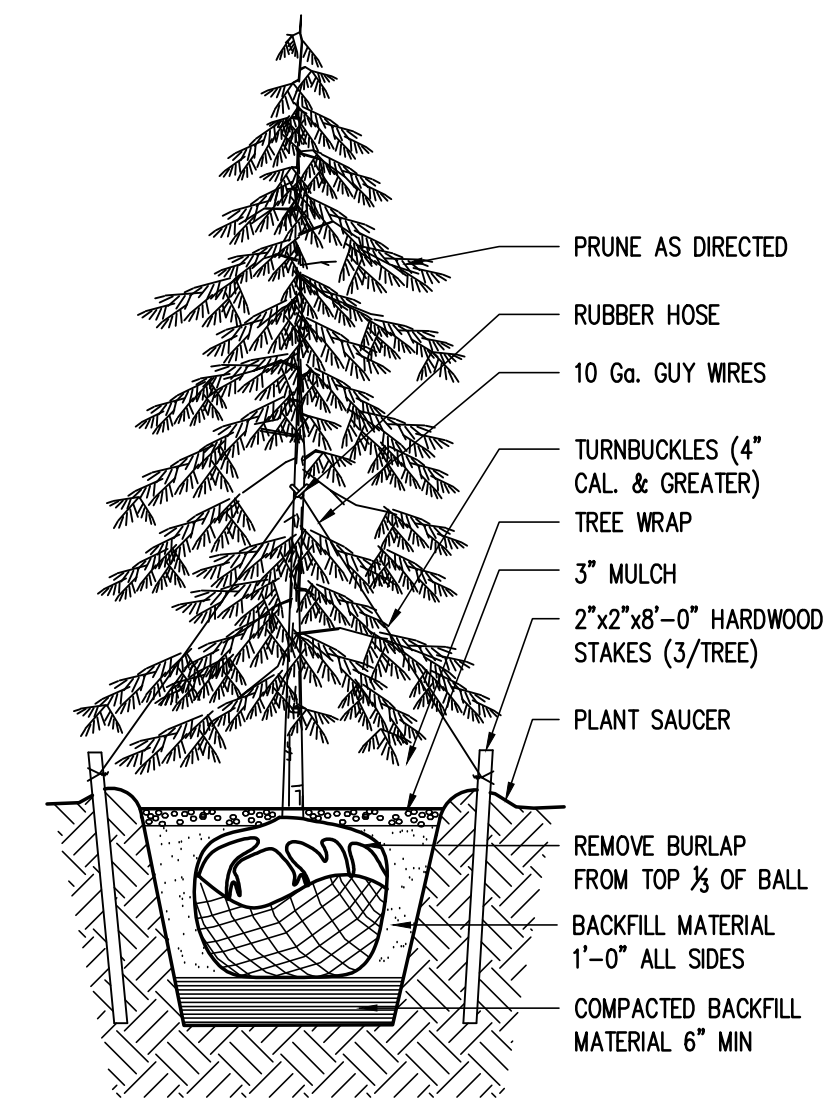
- PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION USE EXTREME CAUTION TO PROTECT UTILITIES.
- IT IS INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL.
- ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE ARCHITECT. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF TREES AND SHRUBS INDICATED, COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK'.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED AND SHALL, WHERE NECESSARY, RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL PLANTS SHALL BE SUBJECT TO THE ARCHITECT'S INSPECTION AND APPROVAL.
- ALL BEDS AND TREE SAUCERS AND OTHER AREAS NOT INDICATED AS LAWN SHALL RECEIVE 3 INCH (MINIMUM) OF APPROVED MULCH (SHREDDED CEDAR)
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM TIME OF ARCHITECT'S FINAL WRITTEN APPROVAL.
- CONTRACTOR TO COORDINATE PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES.
- CONTRACTOR RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED DUE TO PLANTING.

LAWN SEEDING NOTES:

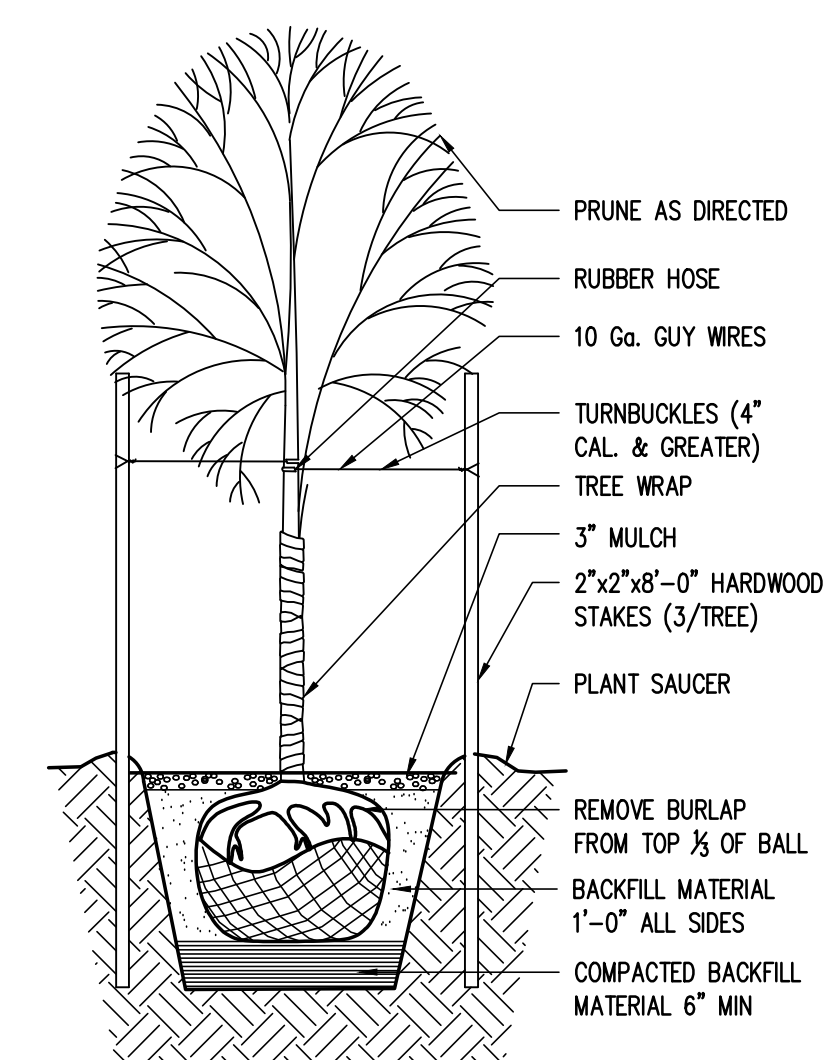
- SEE PLANS FOR LOCATION OF ALL LAWNS.
- PROVIDE MINIMUM OF FOUR (4) INCHES TOPSOIL FOR ALL NEW LAWN AREAS. TOPDRESS ALL EXISTING DISTURBED LAWN AREAS WITH TWO (2) INCHES OF TOPSOIL.
- GRASS SEED SHALL BE EVENLY SOWN BY MECHANICAL SEEDER AT A RATE OF SIX POUNDS PER 1000 SQUARE FT.
- FINE RAKE, ROLL, AND WATER TO A DEPTH OF ONE INCH ALL SEEDED AREAS.
- APPLY GROUND LIMESTONE AND FERTILIZER AT RATES AS RECOMMENDED BY MANUFACTURER.
- CONTRACTOR SHALL GUARANTEE ALL LAWN AREAS FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY OWNERS REPRESENTATIVE.
- LAWN SEED MIX 1 FOR SUN/SHADE AREAS SHALL BE TRIO SUPREME MIX BY PREFERRED SEED (1-877-417-7333) OR APPROVED EQUAL TO INCLUDE:
34% PERENNIAL RYEGRASSES
33% KENTUCKY BLUEGRASSES
33% BLEND OF INTRIGUE CHEWINGS FESCUE, FORTITUDE CREEPING RED FESCUE AND FIREFLY HARD FESCUE
- LAWN SEED MIX 2 FOR POND AREAS SHALL BE DROUGHT AND WEAR SUPREME MIX BY PREFERRED SEED (1-877-417-7333) OR APPROVED EQUAL TO INCLUDE:
90% BLEND TURFTYPE TALL FESCUES
10% KENTUCKY BLUEGRASS
- APPLY PHC TURF SAVER (PLANT HEALTH CARE 1-800-421-9051) AT A RATE OF 22 LBS/100SF PRIOR TO INSTALLATION OF SEED OR SOO.



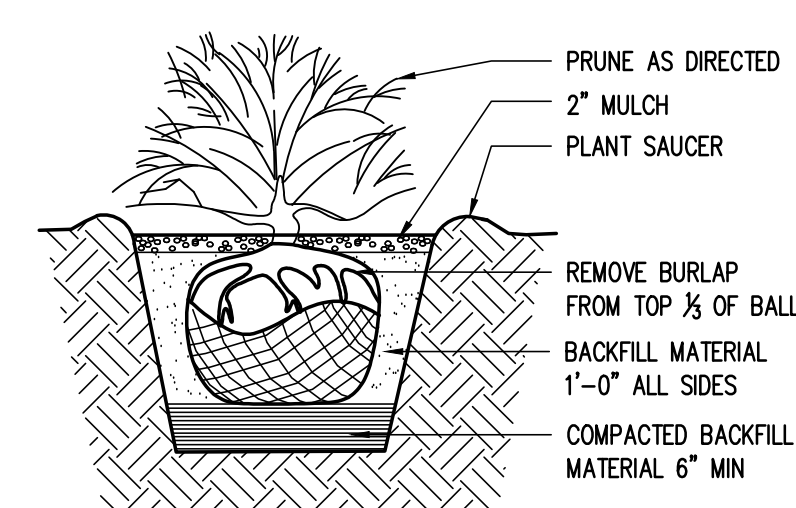
PLANTING SCHEDULE					
TREES - CONIFEROUS					
QNTY	SYMBOL	SIZE	COMMON NAME	BOTANICAL NAME	REMARKS
15	PA	8'-10' HT.	NORWAY SPRUCE	PICEA ABIES	B&B, HEAVY, DENSELY BRANCHED
36	TS	5'-6' HT.	GREEN GIANT ARBORVITAE	THUJA STANDISHII XPLICATA	B&B, HEAVY, DENSELY BRANCHED
TREES - DECIDUOUS					
10	BN	10'-12' HT.	RIVER BIRCH	BETULA NIGRA 'HERITAGE'	B&B, HEAVY, DENSELY BRANCHED, MULTI, MIN. 3 BRANCHED
3	CK	2'-2 1/2' CAL.	KOUSSA DOGWOOD	CORNUS KOUSSA	
1	CM	2'-2 1/2' CAL.	CORNELIAN DOGWOOD	CORNUS MAS	B&B, MULTISTEM, LOW BRANCHED
1	MS	3'-3 1/2' CAL.	SAUCER MAGNOLIA	MAGNOLIA SOULANGEANA	B&B
SHRUBS					
2	BS	4' HT	GLOBE BOXWOOD	BOXYER SEMPERVIRENS (GLOBE)	B&B
92	RN	2 GAL.	DRIFT ROSE	ROSA 'NOVAROSPOP' PPAF	30" O.C. B&B
PERENNIALS & GROUNDCOVERS					
163	FR	4-5' HT	CLUMPING BAMBOO	FARGESIA 'RUFA'	3' O.C. DENSE
29	AC	2 GAL.	YARROW	ACHILLIA 'CORONATION GOLD'	24" O.C. CONTAINER
37	CA	2 GAL.	KARL FOERSTER'S FEATHER RED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	24" O.C. CONTAINER
35	PH	1 GAL.	DWARF FOUNTAIN GRASS	FENISTETUM	24" O.C.
407	LM	1 GAL.	BIG BLUE LIRIOPE	ALOPECUROIDES 'HAMELIN' LIRIOPE MUSCARI 'BIG BLUE'	18" O.C.



2 EVERGREEN PLANTING DETAIL
1/2" = 1'-0"



4 DECIDUOUS PLANTING DETAIL
1/2" = 1'-0"



3 SHRUB PLANTING DETAIL
1/2" = 1'-0"

- PROPOSED DECIDUOUS TREE OR SHRUB. SEE PLANTING SCHEDULE, AND DET. 3 & 4 THIS SHEET
- PROPOSED EVERGREEN. SEE PLANTING SCHEDULE, AND DET. 2 THIS SHEET.
- PROPOSED PERENNIALS OR GROUNDCOVERS
- PROPOSED LAWN

Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
 White Plains, N.Y. 10601
 914 949 1851 Fax 949 5376

Imbiano-Quigley
Landscape Architects
 31 Mamaroneck Ave, 7th Floor
 White Plains, New York 10601
 914 232 0200 Fax 914 232 0232

Sheet Title:
LANDSCAPING PLAN

Seal & Signature: Date: 3-03-2014

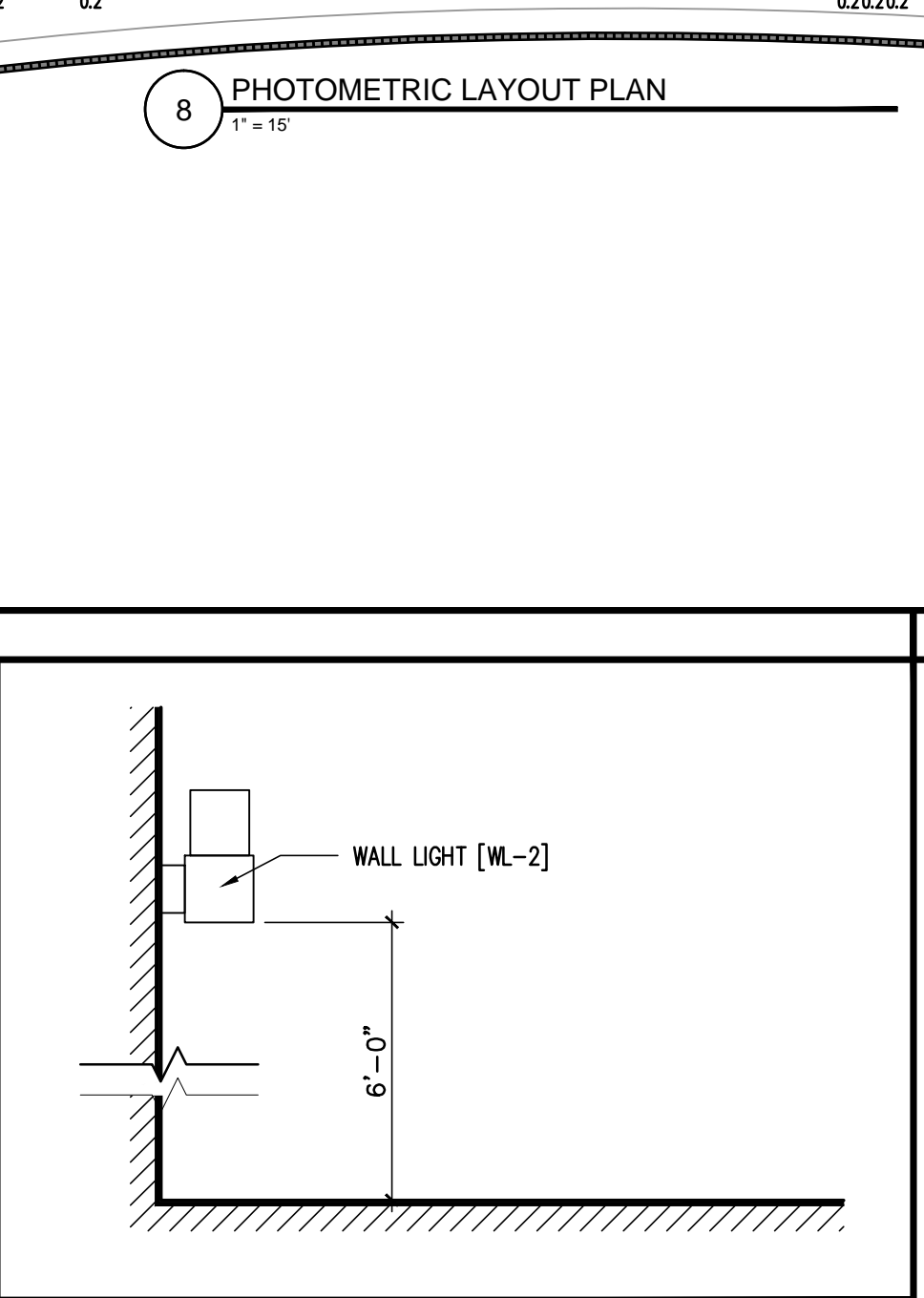
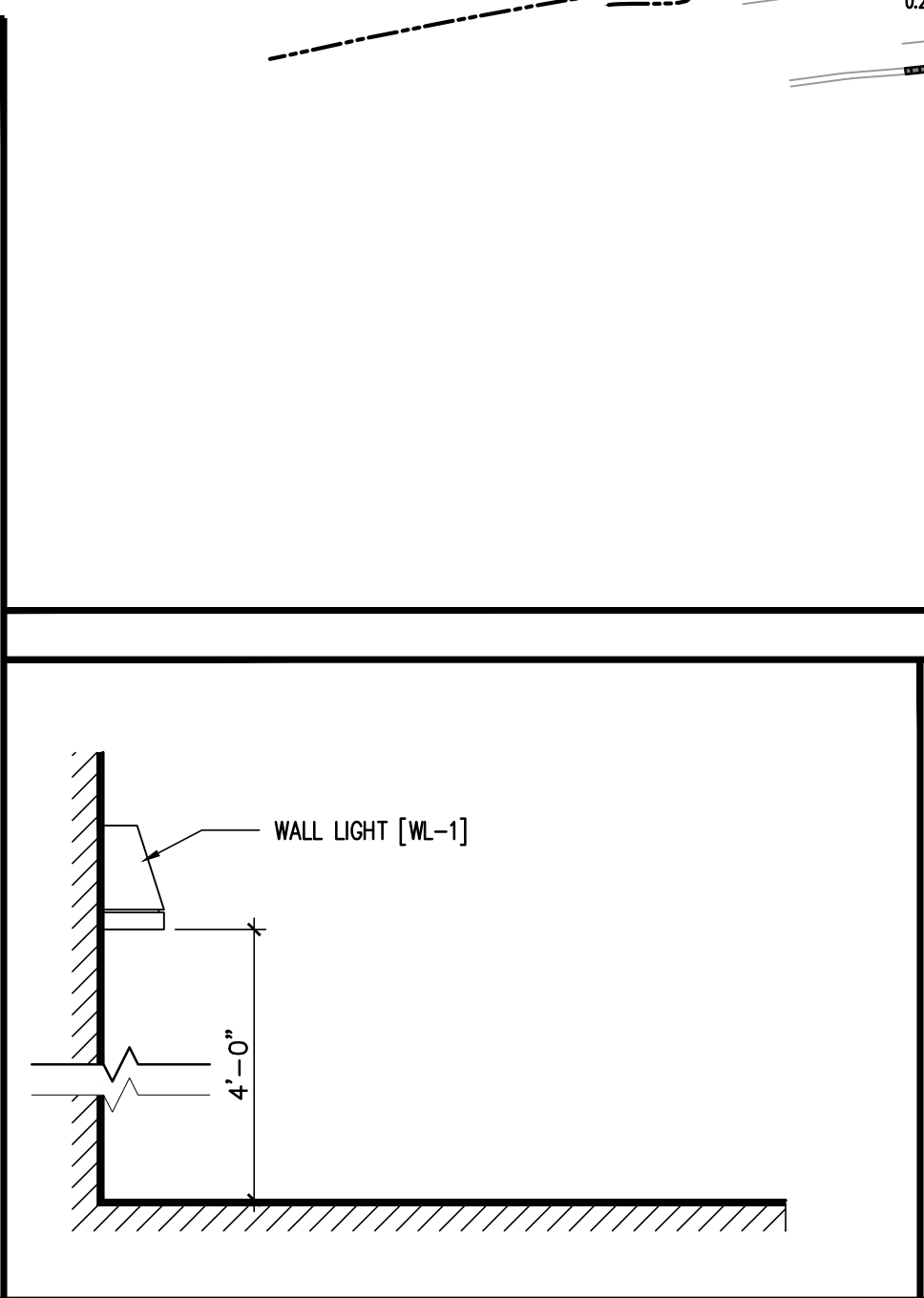
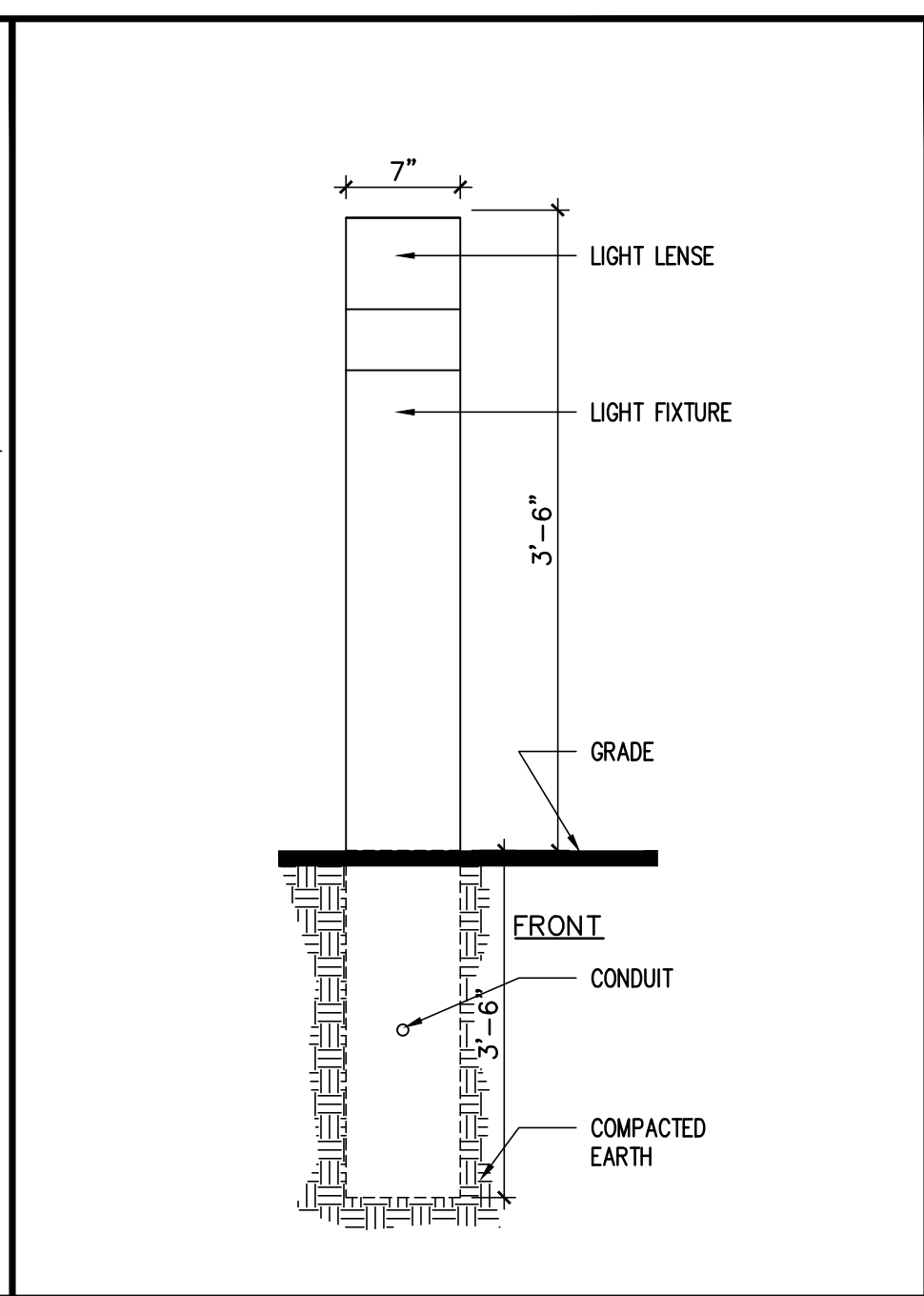
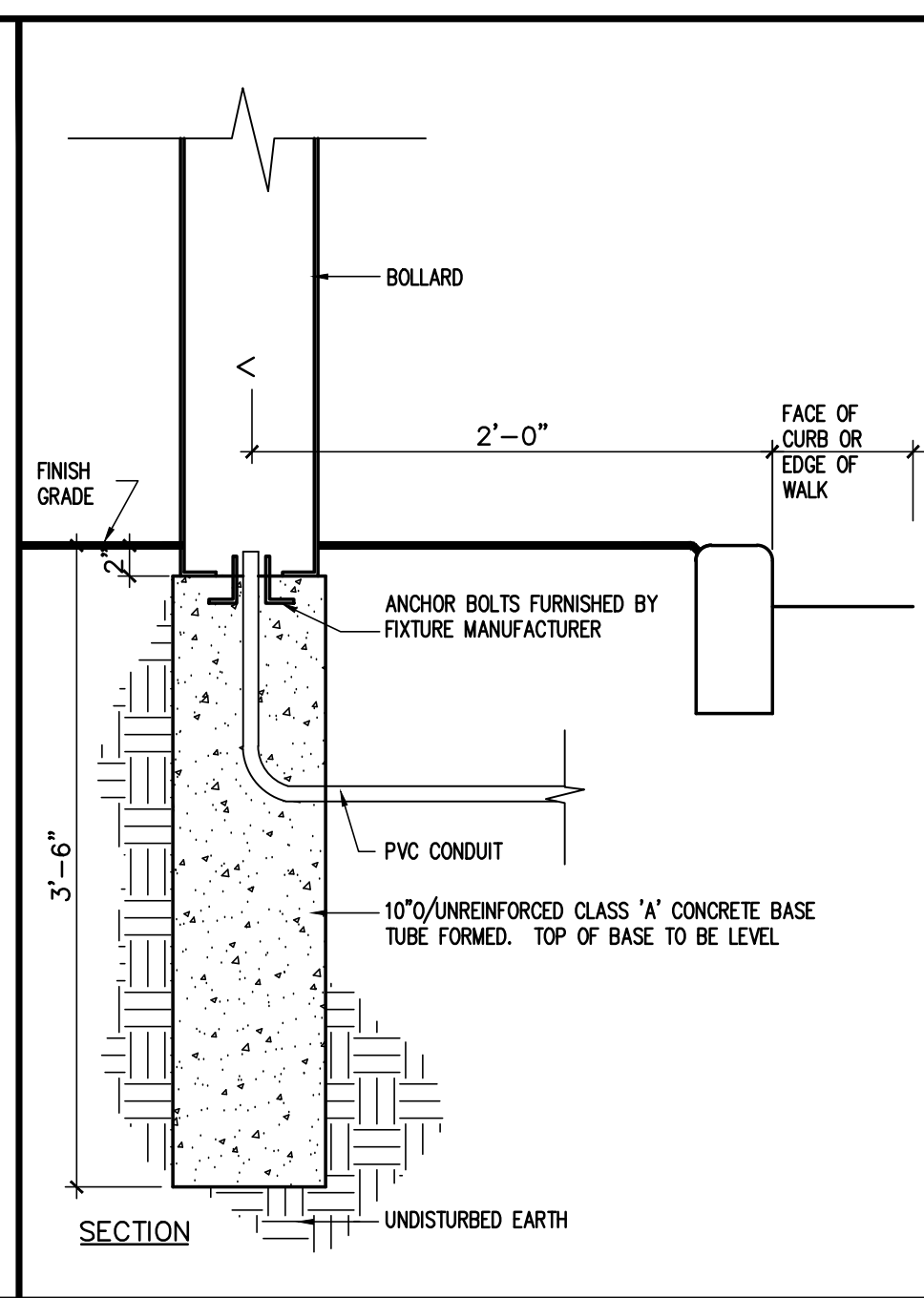
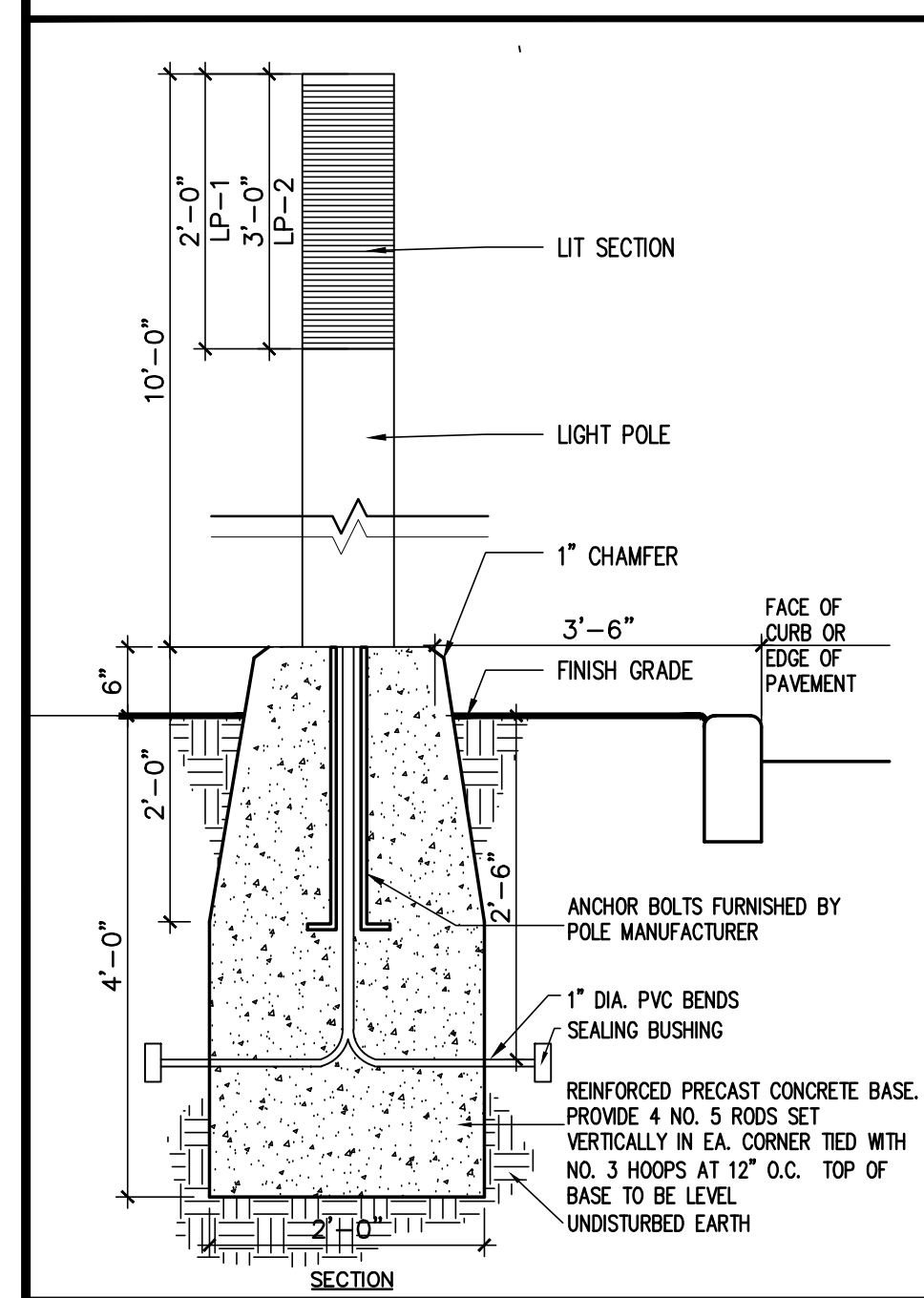
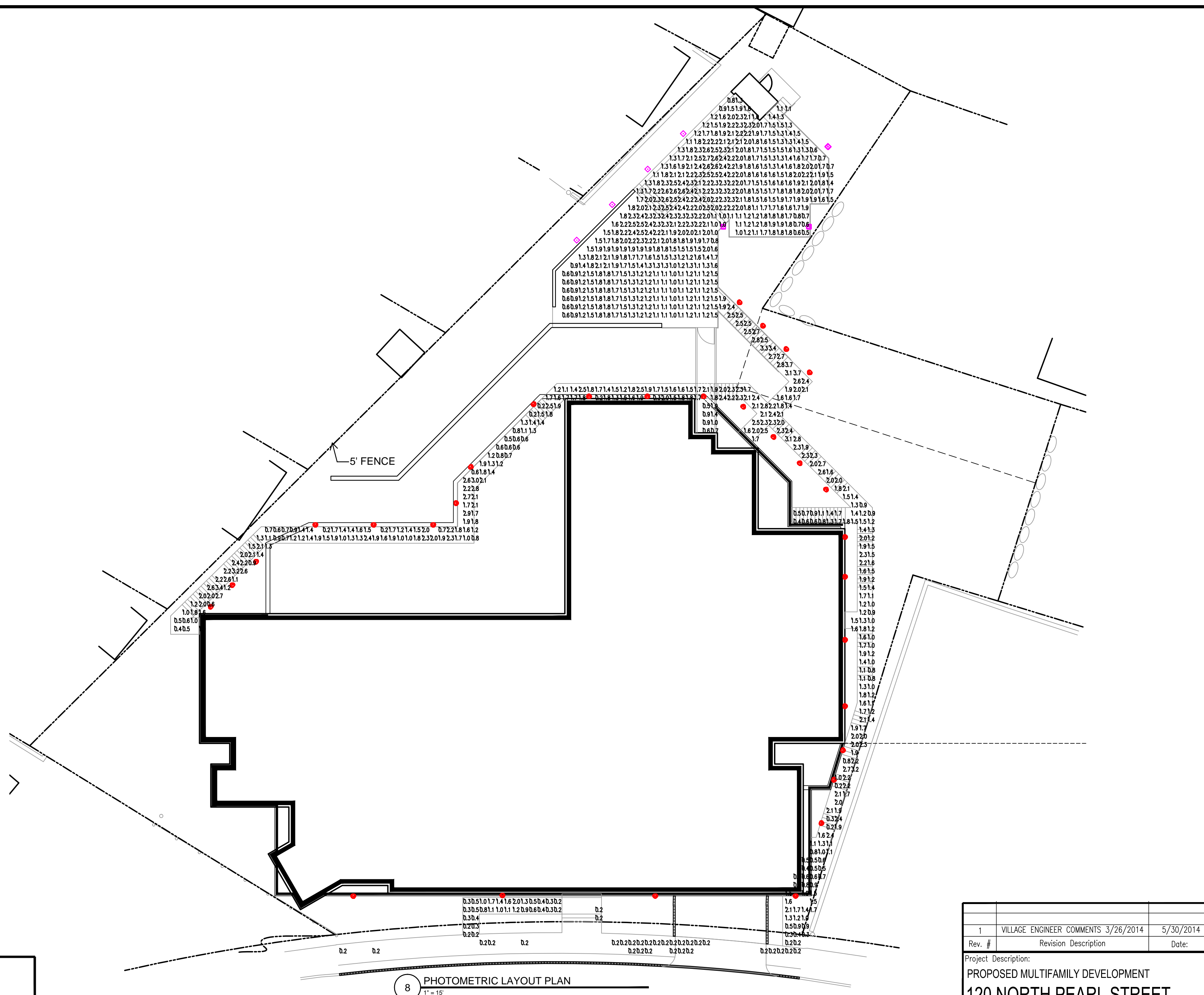
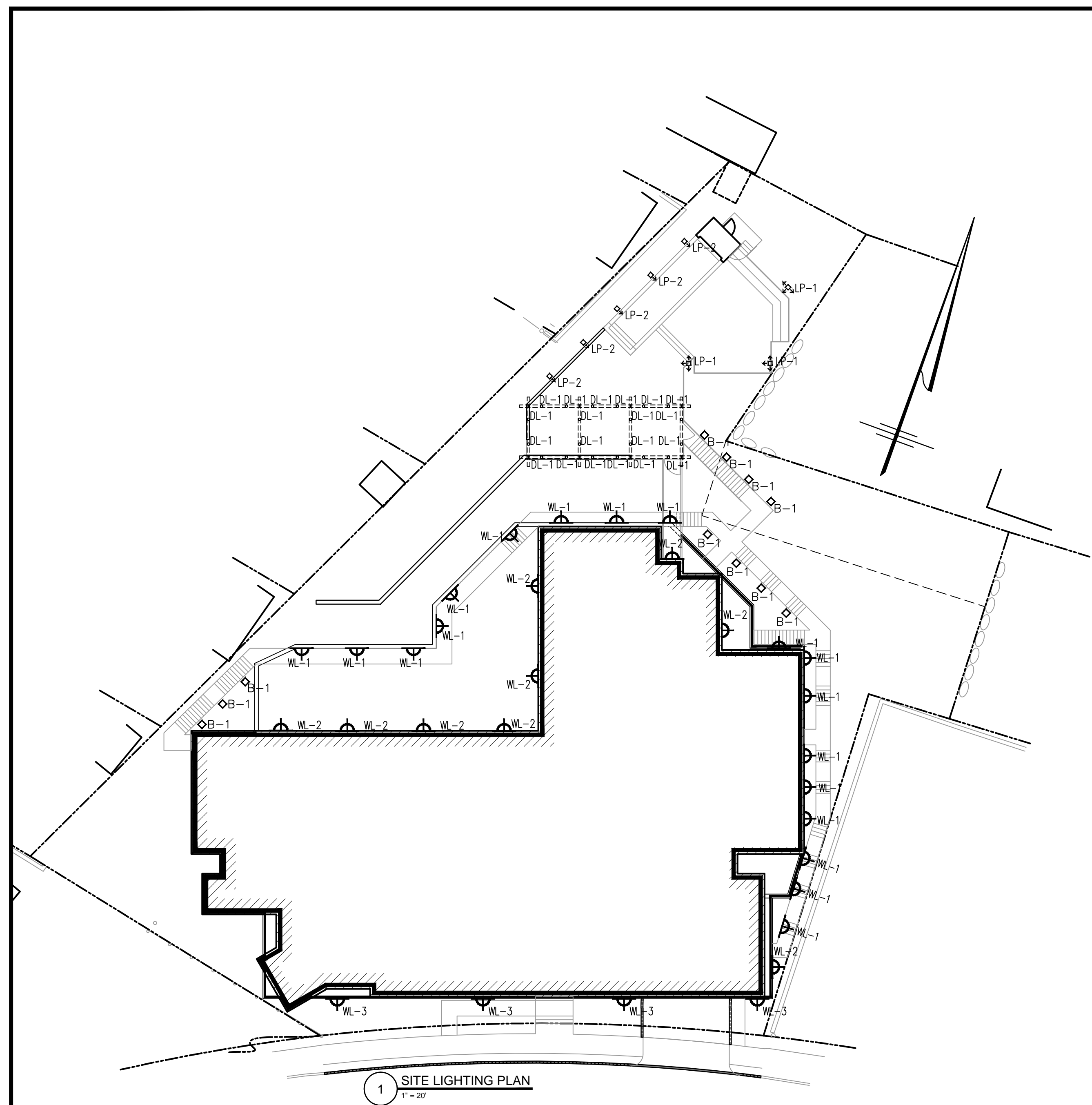
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Job#: 1321

Sheet Title: **SD-102**

Sheet: SHEET INDEX OF TOTAL SHEETS

2 LANDSCAPING PLAN
1/2" = 1'-0"



LEGEND:

- LP-1 46W LED 10' LIGHT COLUMN- 3-WAY DISTRIBUTION, SELUX MTRQL-10-2-3L35-27-BK
- LP-2 23W LED 10' LIGHT COLUMN 1-WAY DISTRIBUTION, SELUX MTRQL-10-3-1L35-27-BK
- B-1 31W LED 3'6" HIGH BOLLARD, SPAULDING FN2-12LU-3K-DO-U-BL
- WL-1 24W LED WALL LIGHT MTD 4" ABOVE GRADE, DAY-BRITE WRN-24W-L-U-BK
- WL-2 13W LED WALL MOUNTED 6'-0" ABOVE GRADE, SLV LIGHTING GRAFT WL 3231205ULED
- WL-3 32W COLUMN ACCENT LIGHT (INTERNAL ILLUMINATION)
- DL-1 6W LED DOWNLIGHT MTD TO PERGOLA AT 8" ABOVE GRADE, SLV LIGHTING 3229584U

1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

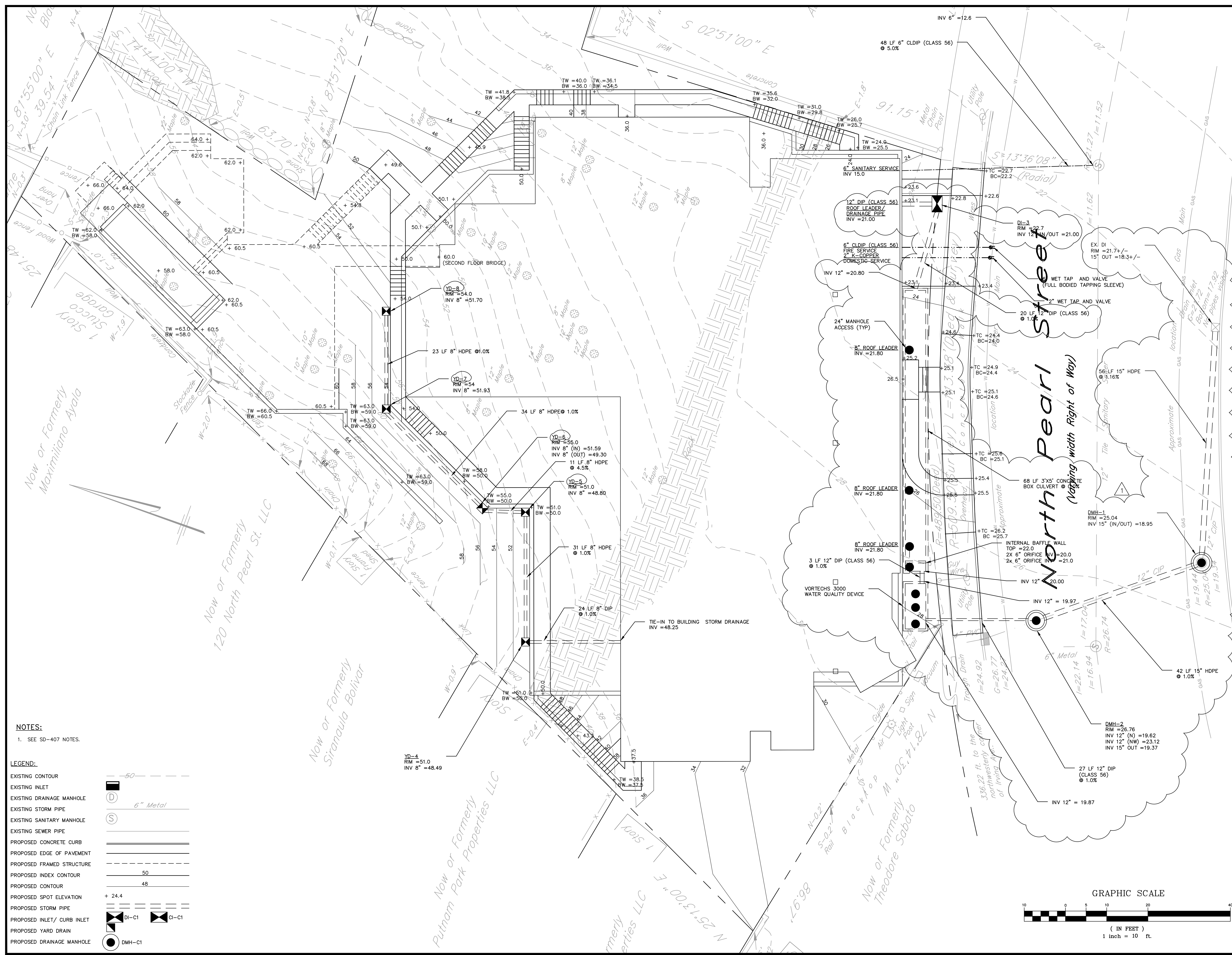
Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
 White Plains, N.Y. 10601
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Catizone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
SITE LIGHTING PLAN

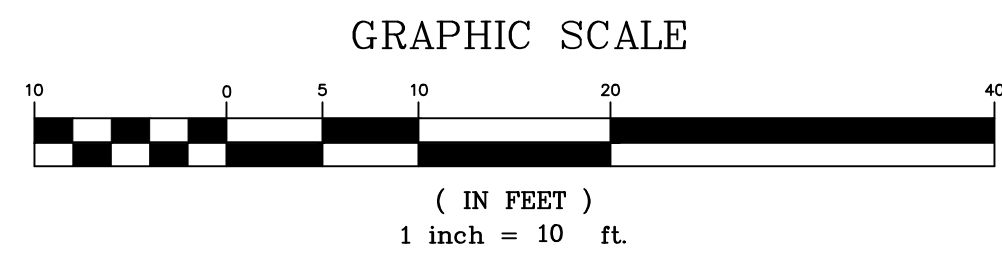
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	3-03-2014
	Scale:
	AS NOTED
Job#:	1321
Sheet Title:	SD-103
Sheet/SHEET INDEX of TOTAL SHEETS	



NOTES:
1. SEE SD-407 NOTES.

LEGEND:

EXISTING CONTOUR	
EXISTING INLET	
EXISTING DRAINAGE MANHOLE	
EXISTING STORM PIPE	
EXISTING SANITARY MANHOLE	
EXISTING SEWER PIPE	
PROPOSED CONCRETE CURB	
PROPOSED EDGE OF PAVEMENT	
PROPOSED FRAMED STRUCTURE	
PROPOSED INDEX CONTOUR	
PROPOSED CONTOUR	
PROPOSED SPOT ELEVATION	
PROPOSED STORM PIPE	
PROPOSED INLET/ CURB INLET	
PROPOSED YARD DRAIN	
PROPOSED DRAINAGE MANHOLE	



1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

Project Description:
**PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573**

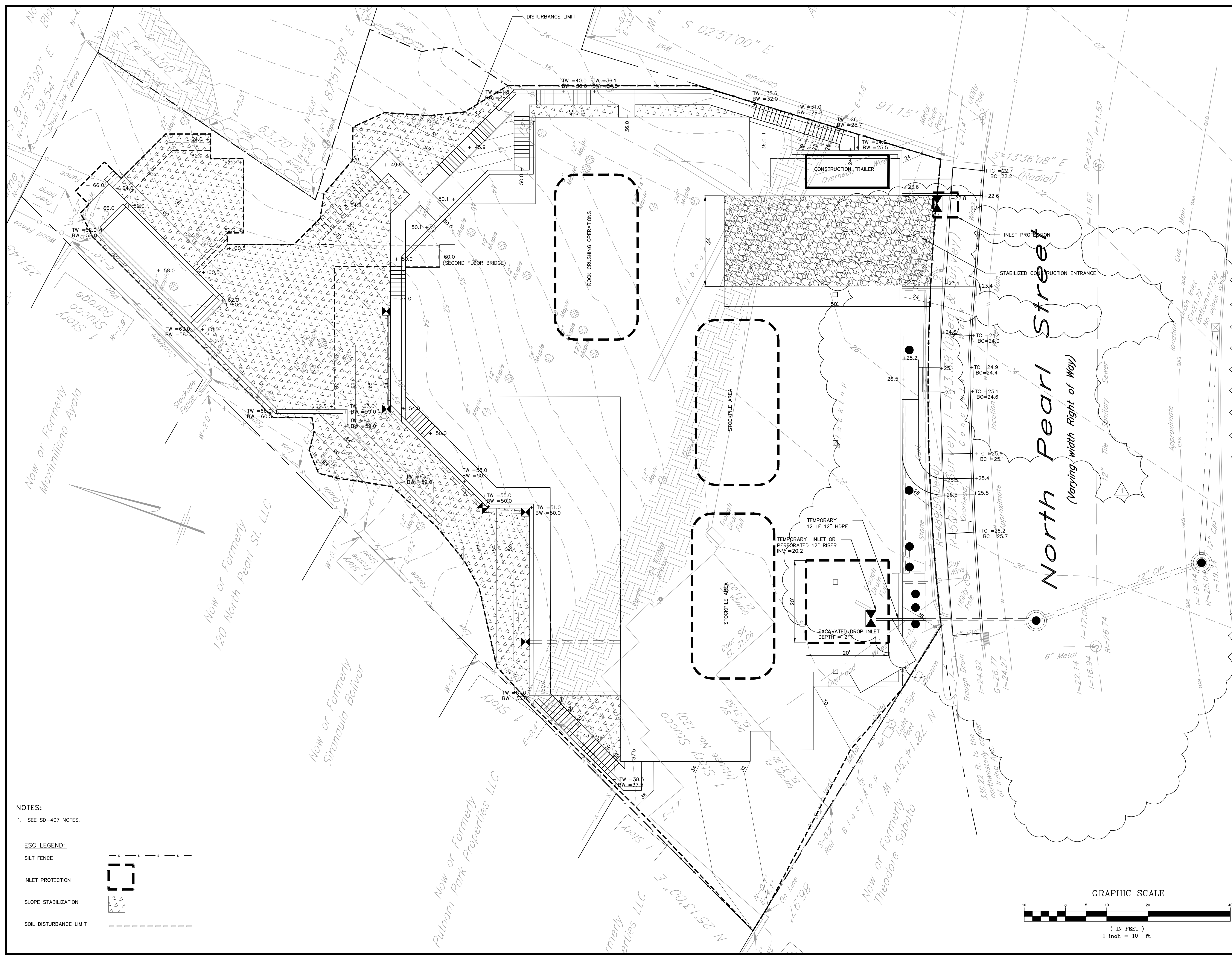
Building Owner:
**AGD NORTH PEARL LLC
5 WALLER AVE
WHITE PLAINS, NY 10601**

Papp Architects, P.C.
188 East Post Road
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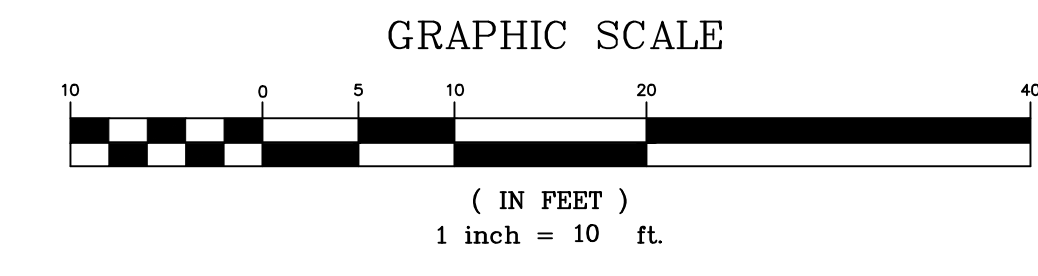
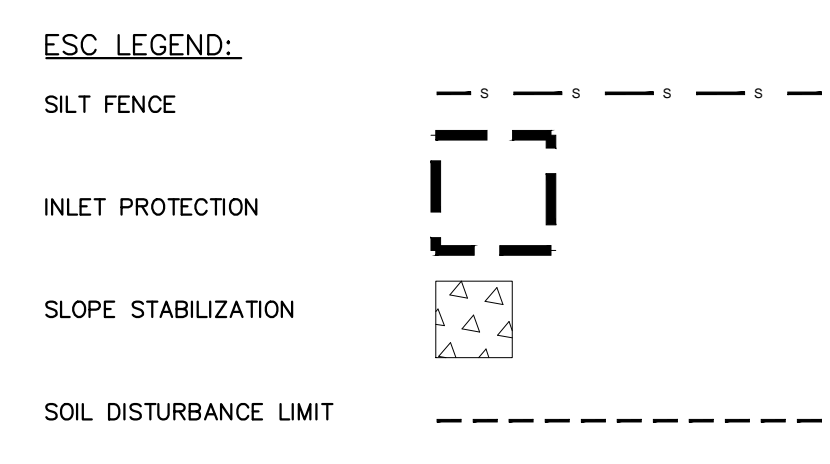
Catzone Engineering, P.C.
Civil Engineer
9 Overlook Terrace
Larchmont, NY 10538
914 269 8358

Sheet Title:
GRADING AND UTILITIES PLAN

Seal & Signature	Date:	03-03-2014
	Scale:	1"=10'
	Job#:	14003
	Sheet Title:	SD-104
	Sheet:	of



NOTES:
 1. SEE SD-407 NOTES.



1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

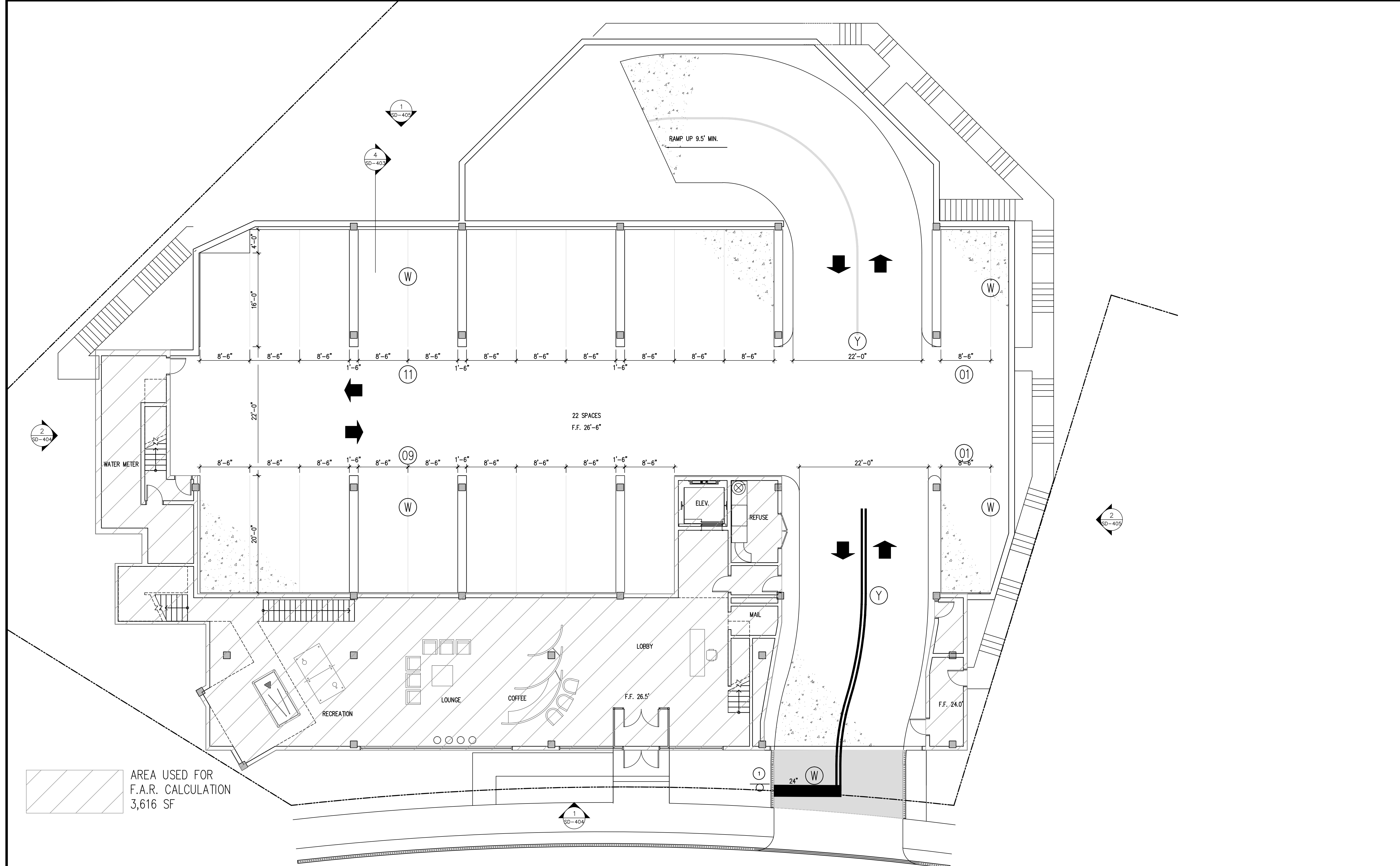
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 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
EROSION AND SEDIMENT CONTROL PLAN

Seal & Signature	Date:	03-03-2014
	Scale:	1"=10'
	Job#:	14003
	Sheet Title:	SD-105
Sheet:		of

NOTE: PARKING GARAGE SHALL BE VENTILATED IN ACCORDANCE WITH SECTION 404 OF NEW YORK STATE MECHANICAL CODE



AREA USED FOR F.A.R. CALCULATION
3,616 SF

1 GROUND FLOOR PLAN
1/8" = 1'-0"

Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

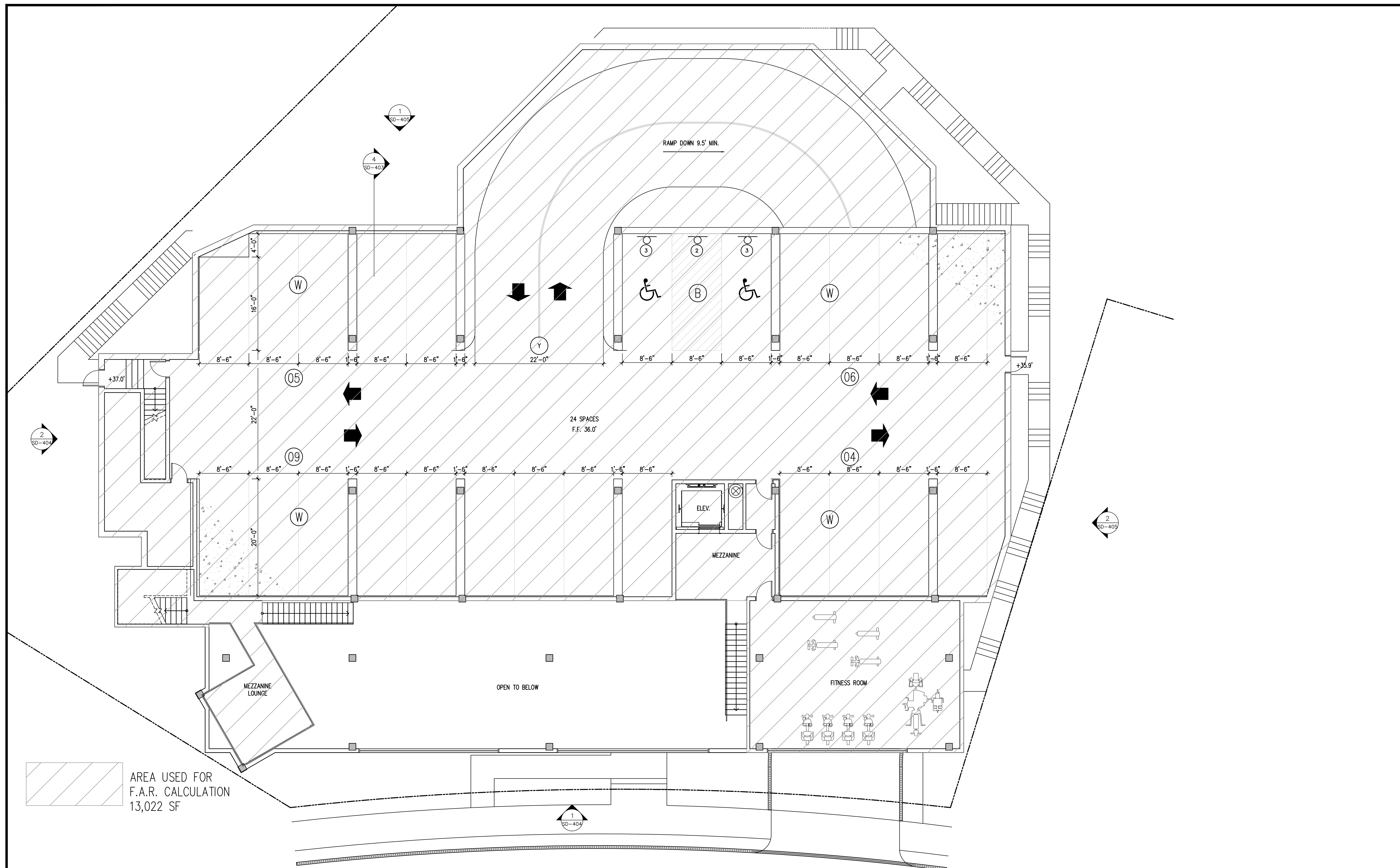
Building Owner:
AGD NORTH PEARL LLC
5 WALLER AVE
WHITE PLAINS, NY 10601

Papp Architects, P.C.
188 East Post Road
White Plains, N.Y. 10601
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914 269 8358

Sheet Title:
GROUND FLOOR PLAN

Seal & Signature	Date:	3-03-2014
	Scale:	AS NOTED
	Job#:	1321
	Sheet Title:	SD-401
Sheet: SHEET INDEX OF TOTAL SHEETS		



AREA USED FOR F.A.R. CALCULATION
13,022 SF

1 MEZZANINE PLAN
1/8" = 1'-0"

Rev. #	Revision Description	Date:

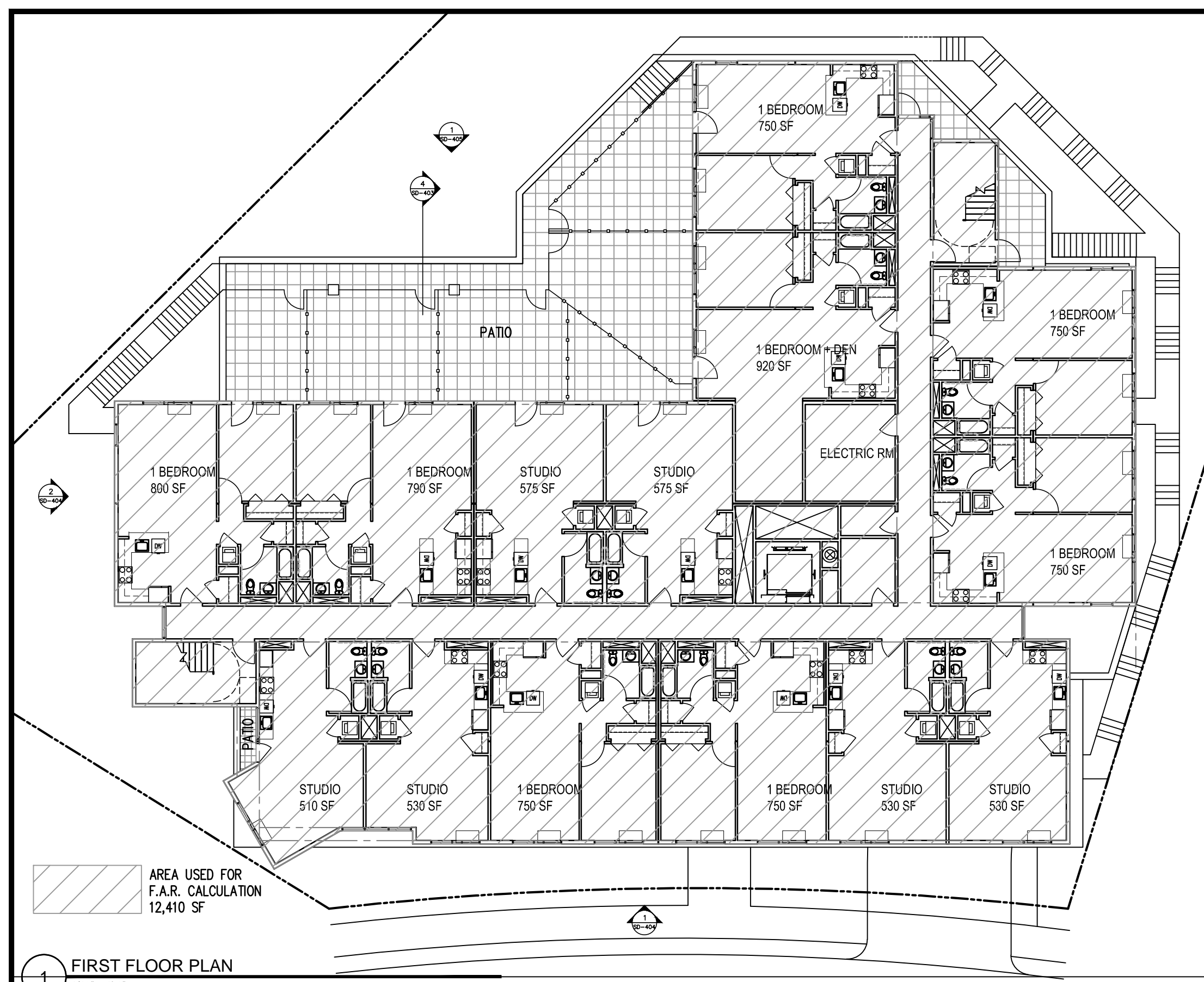
Project Description:
 PROPOSED MULTIFAMILY DEVELOPMENT
 120 NORTH PEARL STREET
 PORT CHESTER, NEW YORK 10573
 Building Owner:
 AGD NORTH PEARL LLC
 5 WALLER AVE
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Papp Architects, P.C.
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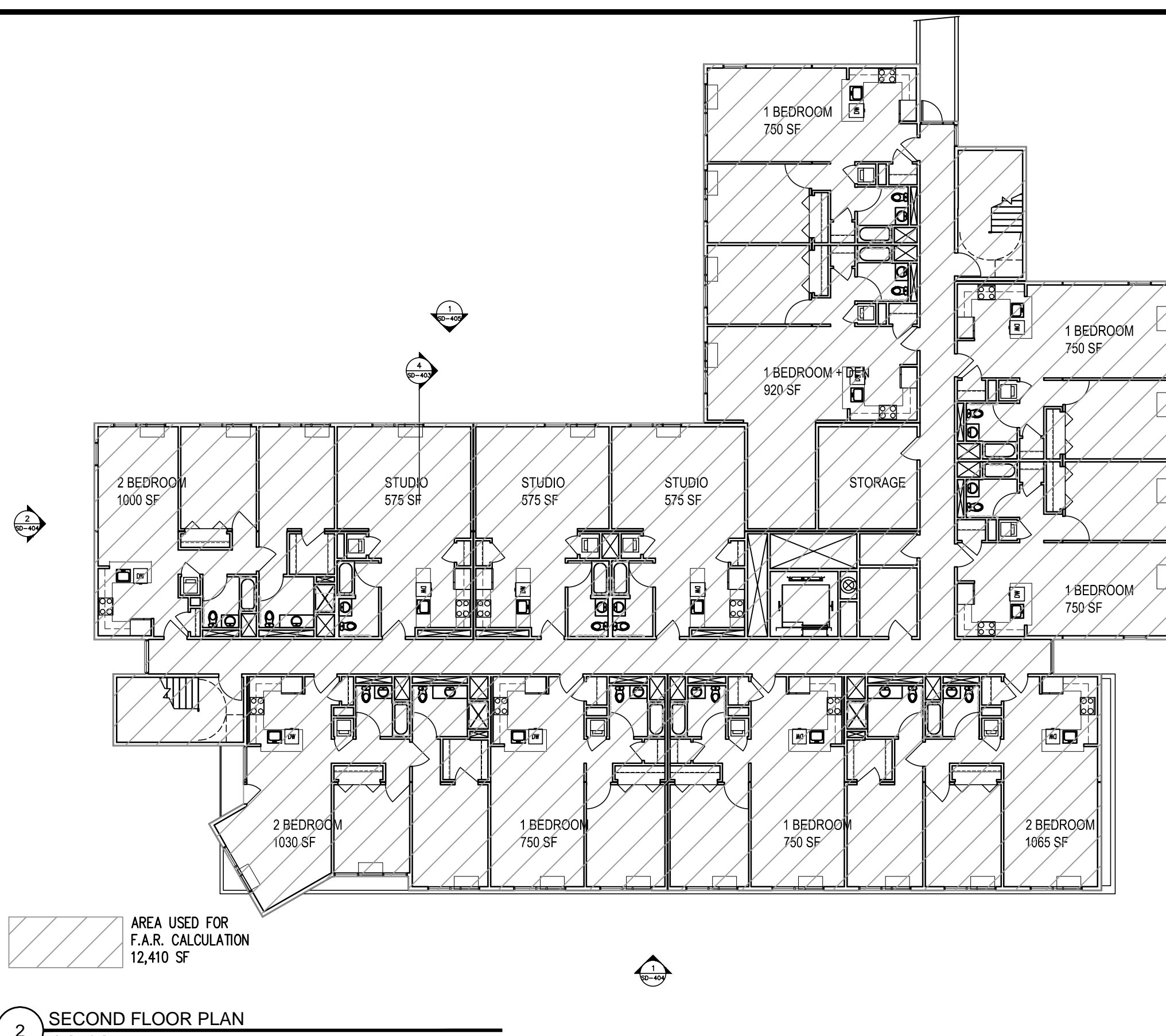
Catizone Engineering, P.C.
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 Larchmont, NY 10538
 914 269 8358

Sheet Title:
MEZZANINE FLOOR PLAN

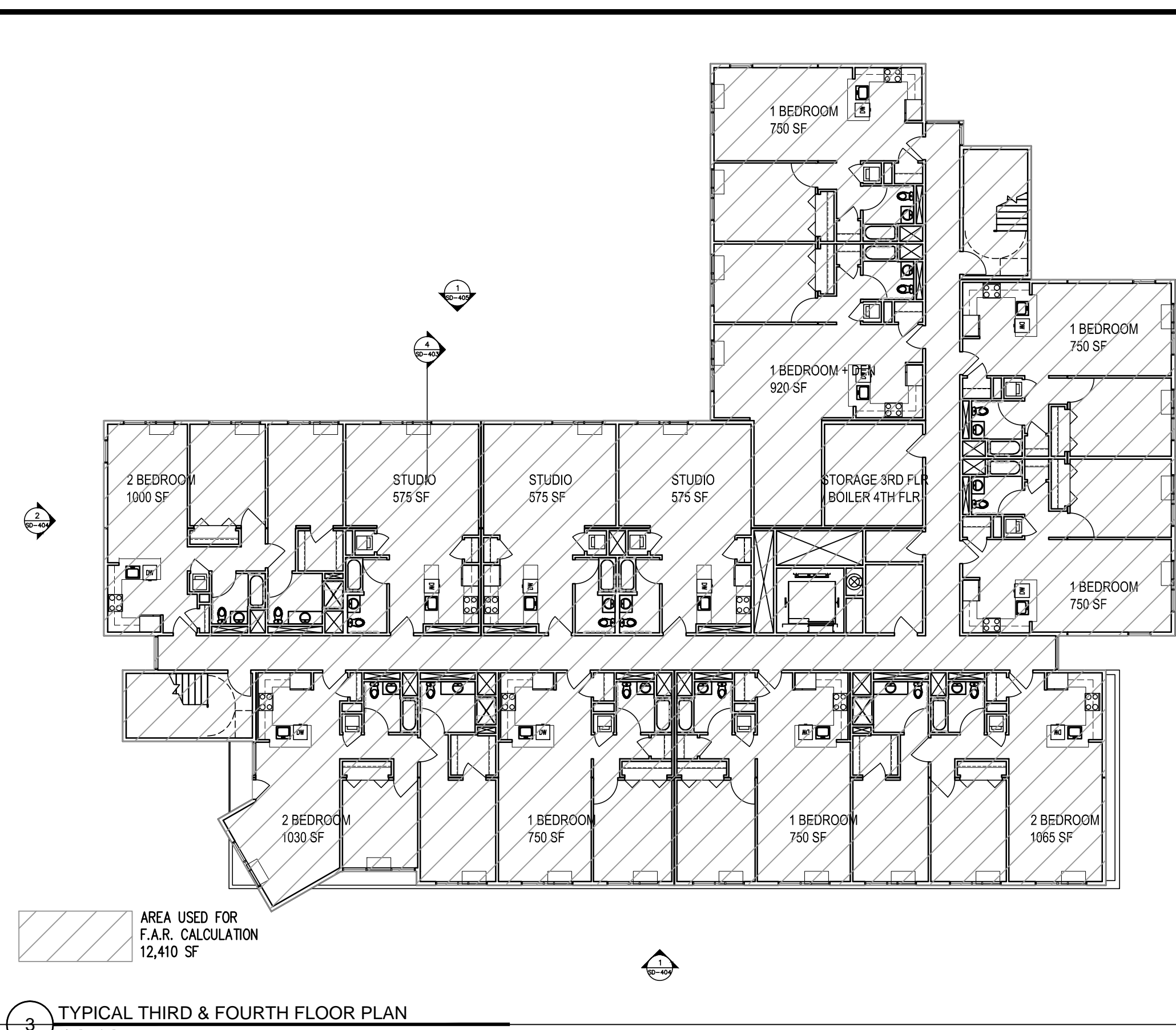
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	Sheet Title:	SD-402
Sheet: SHEET INDEX OF TOTAL SHEETS		



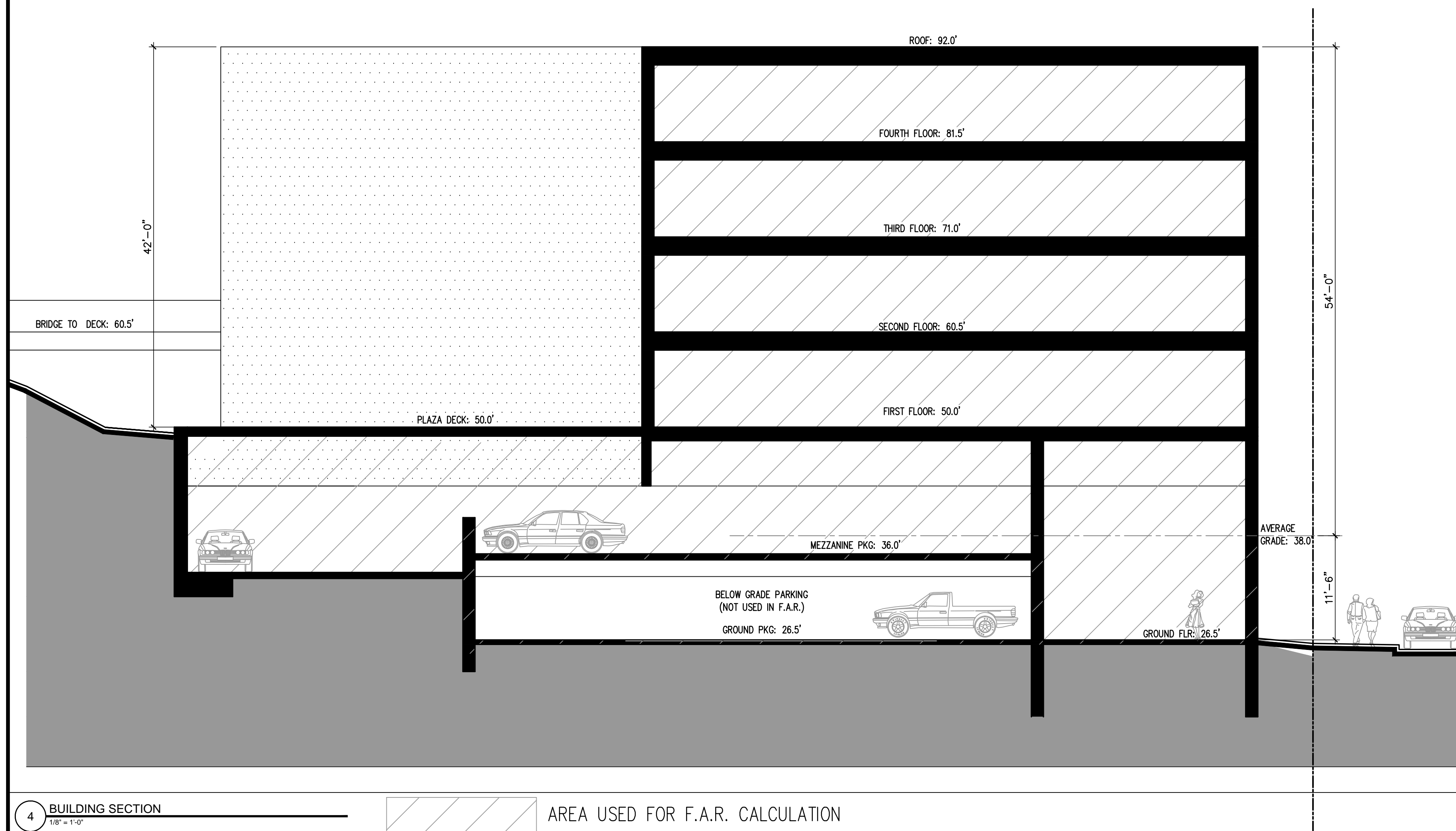
1 FIRST FLOOR PLAN
1/16" = 1'-0"



2 SECOND FLOOR PLAN
1/16" = 1'-0"



3 TYPICAL THIRD & FOURTH FLOOR PLAN
1/16" = 1'-0"



4 BUILDING SECTION
1/8" = 1'-0"

AREA USED FOR F.A.R. CALCULATION

Rev. #	Revision Description	Date:
Project Description: PROPOSED MULTIFAMILY DEVELOPMENT 120 NORTH PEARL STREET PORT CHESTER, NEW YORK 10573		
Building Owner: AGD NORTH PEARL LLC 5 WALLER AVE WHITE PLAINS, NY 10601		
Papp Architects, P.C. 188 East Post Road White Plains, N.Y. 10601 914 949 1851 Fax 949 5376		
Catzone Engineering, P.C. Civil Engineer 9 Overlook Terrace Larchmont, NY 10538 914 269 8358		
Sheet Title: FIRST SECOND THIRD & FOURTH FLOOR PLANS & BUILDING SECTION		
Seal & Signature	Date:	3-03-2014
Scale:		AS NOTED
Job#:		1321
Sheet Title:		SD-403
Sheet/SHEET INDEX of TOTAL SHEETS		

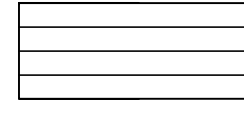
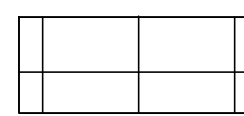


1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

LEGEND:

-  VENTILATED TERRA COTTA WALL PANEL. TERREAL PITERAK XS18 RED
-  EXTERIOR GRADE HIGH PRESSURE LAMINATE WALL PANEL. ABET LAMINATI COLOR# 879

Rev. #	Revision Description	Date:


Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

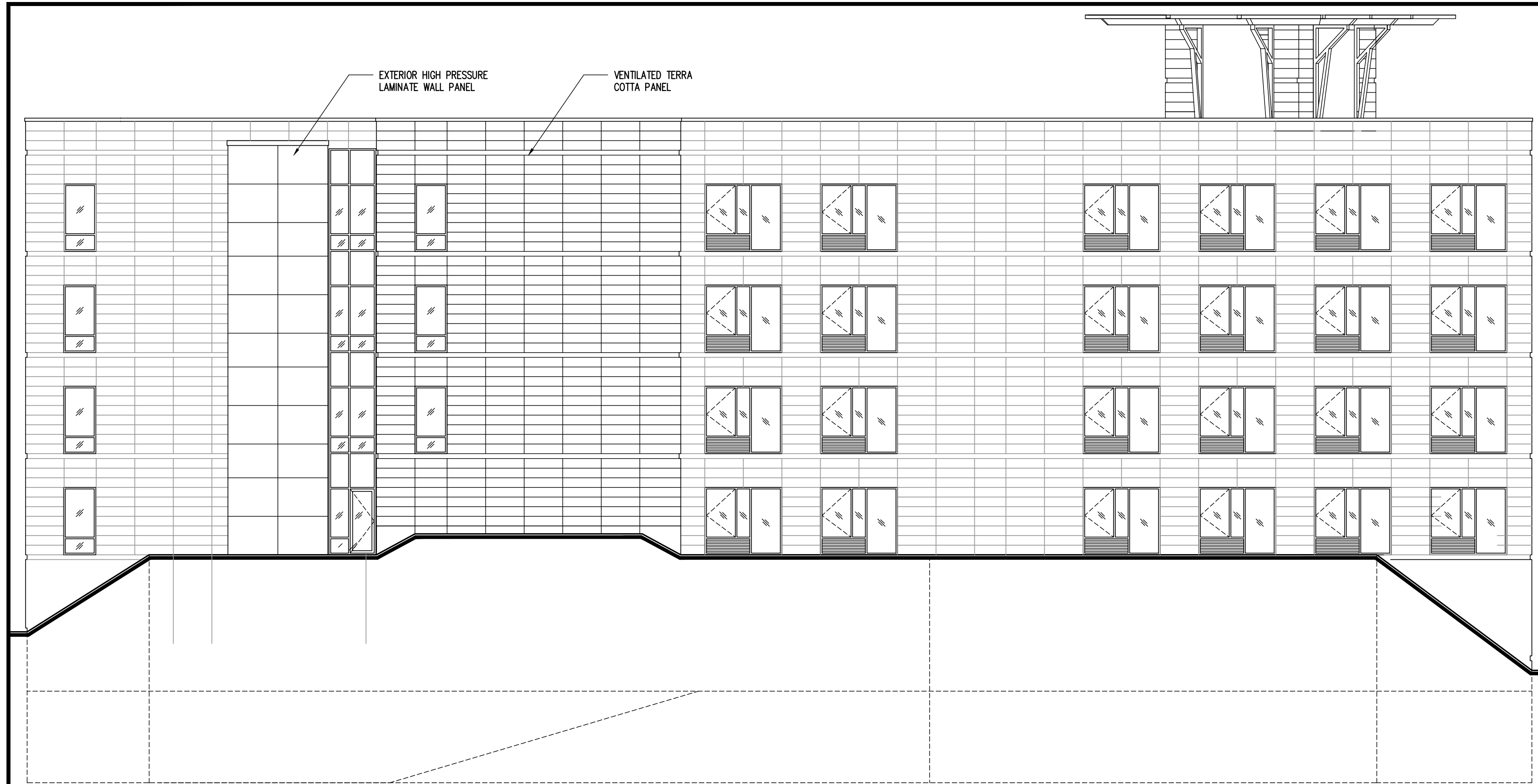
Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
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 914 269 8358

Sheet Title:
BUILDING ELEVATIONS

Seal & Signature	Date: 3-03-2014
	Scale: AS NOTED
	Job#: 1321
	Sheet Title: SD-404

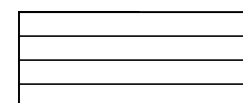
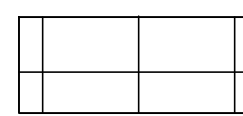


1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

LEGEND:

-  VENTILATED TERRA COTTA WALL PANEL. TERREAL PITERAK XS18 RED
-  EXTERIOR GRADE HIGH PRESSURE LAMINATE WALL PANEL. ABET LAMINATI COLOR# 879

Rev. #	Revision Description	Date:


Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

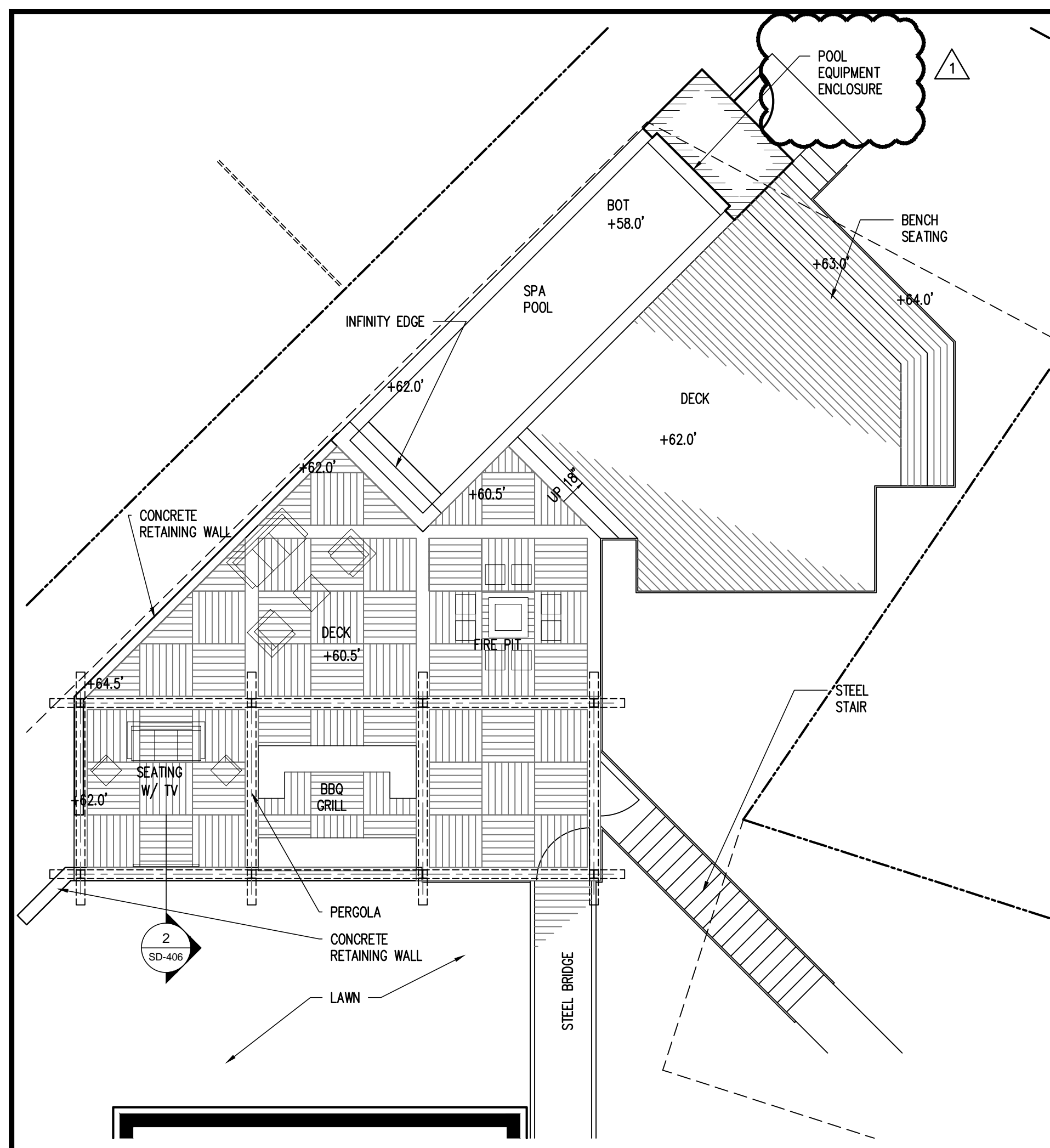
Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
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Papp Architects, P.C.
 188 East Post Road
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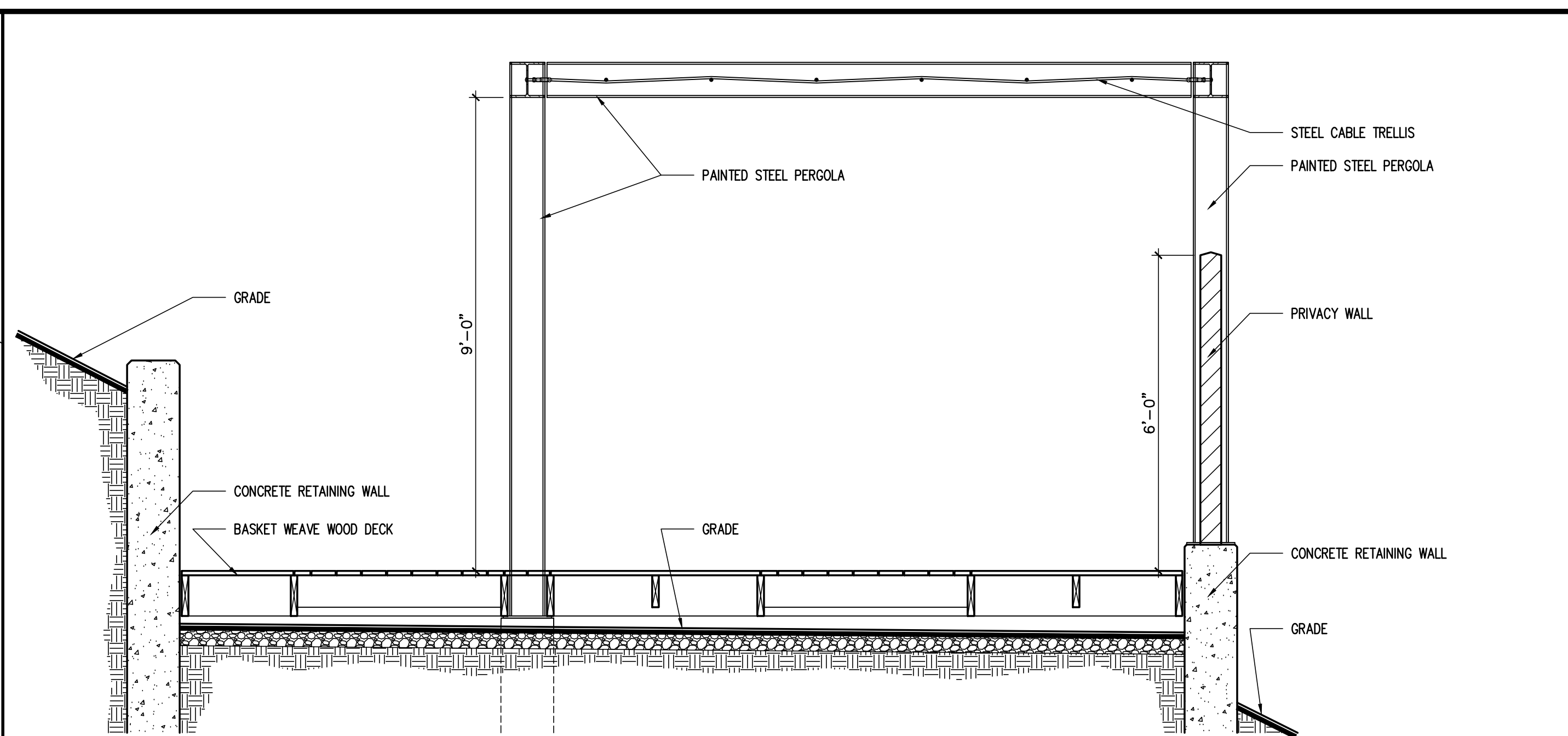
Catizone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
BUILDING ELEVATIONS

Seal & Signature	Date:	3-03-2014
	Scale:	AS NOTED
	Job#:	1321
	Sheet Title:	SD-405
Sheet: SHEET INDEX of TOTAL SHEETS		



1 OPEN SPACE AMENITY AREA PLAN
1/8" = 1'-0"



2 PERGOLA SECTION
1/2" = 1'-0"

Rev. #	Revision Description	Date:
1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014

Project Description:
 PROPOSED MULTIFAMILY DEVELOPMENT
 120 NORTH PEARL STREET
 PORT CHESTER, NEW YORK 10573
 Building Owner:
 AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

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 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
PERGOLA PLAN & DETAILS

Seal & Signature	Date:	3-03-2014
	Scale:	AS NOTED
	Job#:	1321
	Sheet Title:	SD-406

GENERAL NOTES:

1. BASE INFORMATION WAS TAKEN FROM A SURVEY ENTITLED "SURVEY OF PROPERTY PREPARED FOR LIGHHOUSE ENTERPRISES, LLC, IN THE VILLAGE OF PORT CHESTER, TOWN OF RYE, COUNTY OF WESTCHESTER, NY." PREPARED BY WARD CARPENTER ENGINEERS, INC, 76 MAMARONECK AVENUE, WHITE PLAINS, NY 10601 AND DATED DECEMBER 19, 2013.
2. SUPPLEMENTAL STORM AND SEWER INFORMATION WAS TAKEN FROM VILLAGE RECORD DRAWINGS.
3. WATER MAIN INFORMATION WAS TAKEN FROM UNITED WATER WORKS RECORD PLANS.
4. SLOPES ANALYSIS IS BASED ON CONTOURS PROVIDED IN BASE INFORMATION.
5. STORMWATER SYSTEM IS CONSIDERED PRELIMINARY AND REQUIRES PERCOLATION TESTING AND EXCAVATION OF TEST PITS TO CONFIRM SOIL PROPERTIES.
6. THE PROJECT IS SERVICED BY PUBLIC WATER SUPPLIED BY WESTCHESTER JOINT WATER WORKS.
7. THE PROJECT IS SERVICED BY PUBLIC SEWER SYSTEM.
8. THE MEP ENGINEER SHALL VERIFY SIZES OF DOMESTIC WATER FIRE AND AIR SEWER SERVICES.
9. THE PROJECT SITE IS SERVICED BY NATURAL GAS PROVIDED BY CONSOLIDATED EDISON CORPORATION. GAS IS SHOWN FOR COORDINATION PURPOSES.
10. PROPOSED RETAINING WALLS SHOWN SHALL BE DESIGNED AND DETAILED BY AN ENGINEER BASED ON GEOTECHNICAL INFORMATION.
11. ROCK REMOVAL SHALL EMPLOY MECHANICAL METHODS. SHOULD BLASTING BE REQUIRED, THE BLASTING CONTRACTOR SHALL SUBMIT A BLASTING PLAN FOR APPROVAL BY THE VILLAGE OF PORT CHESTER. THE BLASTING PLAN SHALL EMPLOY LINE DRILLING OR PRE-BLASTING PROCEDURES TO MINIMIZE IMPACTS TO OFFSITE PROPERTIES. ADDITIONALLY, A PRE-BLAST SURVEY AND MONITORING IS REQUIRED.
12. MAXIMUM ROCK SLOPES SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.
13. A PORTABLE ROCK CRUSHING/SCREENING PLANT MAY BE UTILIZED TO GENERATE VARIOUS STONE PRODUCTS FOR THE PROJECT AND TO MINIMIZE MATERIAL TO BE TRANSPORTED OFF SITE.
14. CONTRACTOR SHALL SECURE SITE WITH CHAIN LINK FENCE AND DEFINE ACCESS POINTS.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL SECURE ALL APPLICABLE PERMITS.
2. THE CONTRACTOR SHALL CONTACT UFPO AT 1-800-962-7962 TO ORDER A UTILITIES MARK-OUT AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. IT MAY BE NECESSARY TO CONTRACT A PRIVATE UTILITY MARK-OUT COMPANY FOR MARK-OUT OF UTILITIES ON PRIVATE PROPERTY.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT EMERGENCY SERVICES TO INFORM THEM OF ANY WORK WITHIN THE RIGHT OF WAY AND ASSOCIATED ROADWAY OR LANE CLOSURES.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SITE ROADWAYS FREE OF DEBRIS AND SEDIMENT.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN REQUIRED SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH NYSDEC STANDARDS AND PROVIDE AN INSPECTION OF SUCH MEASURES ON A WEEKLY BASIS AND FOLLOWING ANY RAIN STORM GENERATING 0.5 INCHES OF RAINFALL OR GREATER. THE CONSTRUCTION OF ALL STORM WATER MANAGEMENT FACILITIES MUST BE UNDER THE SUPERVISION OF AND CERTIFICATION BY THE STORM WATER MANAGEMENT DESIGN ENGINEER OF RECORD. AN AS-BUILT MUST BE PROVIDED.
6. COPIES OF "NYSDEC" CERTIFIED "TRAINED INDIVIDUAL" MUST BE SUBMITTED TO VILLAGE OF PORT CHESTER PRIOR TO ANY ACTIVITIES INVOLVING SOILS DISTURBANCE. THE NYSDEC CERTIFIED "TRAINED INDIVIDUAL" MUST BE ON SITE AT ALL TIMES WHERE SOIL DISTURBANCE IS TAKING PLACE.
7. THE OWNER SHALL BE RESPONSIBLE FOR PERMANENT STORM WATER MANAGEMENT MAINTENANCE PROGRAM INCLUDING IMPLEMENTATION OF CORRECTIVE MEASURES WHEN DEFICIENCIES ARE IDENTIFIED.
8. THE CONTRACTOR SHALL REMOVE DEMOLITION DEBRIS INCLUDING BUT NOT LIMITED TO BUILDING DEMOLITION DEBRIS, IMPERVIOUS SURFACES AND MISCELLANEOUS FENCES, SIGNS AND LIGHTING AND DISPOSED OF THEM AT AN APPROVED FACILITY.
9. IF UNSUITABLE SOILS ARE ENCOUNTERED, THEY SHALL BE REMOVED FROM THE SITE AND REPLACED WITH RUN OF BANK GRAVEL.
10. THE CONTRACTOR SHALL NOTIFY THE OWNER, IN WRITING, OF ANY CONDITIONS THAT DIFFER FROM THE PLANS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ON-SITE OR OFF-SITE DAMAGES TO PROPERTY OR VEGETATION CAUSED BY HIS OPERATIONS. SUCH DAMAGES SHALL BE REPAIRED OR REPLACED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER OR AGENCY HAVING JURISDICTION.
12. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TOWARDS EXISTING DRAINAGE INLETS AND/OR DRAINAGE CHANNELS IN ACCORDANCE WITH THE PLANS.
13. CURBS AND PAVEMENTS SHALL BE SAWCUT PRIOR TO REMOVAL.
14. ALL WORK WITHIN THE RIGHT OF WAY SHALL COMPLY WITH THE VILLAGE OF PORT CHESTER REQUIREMENTS.

UTILITY NOTES:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, MATERIAL CONDITION AND ELEVATIONS OF ALL PROPOSED UTILITY CROSSINGS AND CONNECTION POINTS AND REPORT AND DISCREPANCIES OWNER, IN WRITING.
10. GATE VALVES SHALL BE MUELLER MODEL 2360 RESILIENT WEDGE TYPE, VALVE OPERATION PER WESTCHESTER JOINT WATER WORKS REQUIREMENTS.
11. WATER PIPING AND INSTALLATION SHALL CONFORM WITH WESTCHESTER JOINT WATER WORKS REQUIREMENT.
12. A DOUBLE CHECK VALE (DCV) IS REQUIRED ON THE FIRE SERVICE. THE SIAMESE CONNECTION SHALL BE TIED INTO THE BUILDING SIDE OF THE DVC. THE DCV SHALL BE LOCATED WITHIN THE UTILITY ROOM. APPROVAL BY WCDOH IS REQUIRED.
13. A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE (RPZ) IS REQUIRED ON THE DOMESTIC WATER SUPPLY. DISCHARGE FROM THE RPZ MUST BE ROUTED TO AN INTERIOR DRAIN. PER NYSDEC REGULATIONS, ALL INTERIOR DRAINS MUST DRAIN TO THE SANITARY SYSTEM. APPROVAL FROM WCDOH IS REQUIRED.
14. THE MEP ENGINEER SHALL SUBMIT CALCULATIONS FOR SIZING OF THE DOMESTIC AND FIRE WATER SERVICES FOR APPROVAL BY VILLAGE OF PORT CHESTER.
15. THE SANITARY SEWER SERVICE SIZING SHALL INCLUDE MAXIMUM DAILY FLOW DEMAND FROM THE PROPOSED RESIDENTIAL UNITS AND DISCHARGE FROM THE DOMESTIC WATER SERVICE RPZ. THE MEP ENGINEER SHALL SUBMIT CALCULATIONS FOR APPROVAL BY VILLAGE OF PORT CHESTER.
16. THE CONTRACTOR SHALL VERIFY THAT ANY EXISTING WATER SERVICE PREVIOUSLY SERVICING THE SITE ARE INACTIVE. IF THE SERVICES ARE ACTIVE THEY SHALL BE CAPPED AT THE MAIN AT THE DEVELOPERS EXPENSE.
17. THE CONTRACTOR SHALL VERIFY THAT ALL SANITARY SERVICES PREVIOUSLY SERVICING THE SITE ARE CUT AND CAPPED PER CITY OF WHITE PLAINS REQUIREMENTS.
18. EXISTING STORM SERVICE SHALL BE ABANDONED PER VILLAGE OF PORT CHESTER REQUIREMENTS.
19. GATE VALVES SHALL BE MUELLER MODEL 2360 RESILIENT WEDGE TYPE, VALVE OPERATION PER WESTCHESTER JOINT WATER WORKS REQUIREMENTS.
20. FOOTING DRAIN CONNECTION SHALL BE TIED INTO THE STREET SIDE OF THE DETENTION SYSTEM CONTROL STRUCTURE.
21. PIPE LENGTHS SHOWN FOR SANITARY SYSTEM SHALL BE ASSUMED TO BE FROM CENTER OF DRAINAGE STRUCTURE TO CENTER OF DRAINAGE STRUCTURE. CONTRACTOR SHALL ESTABLISH UNIFORM SLOPE THROUGH THE DRAINAGE STRUCTURE.
22. PIPE LENGTHS SHOWN FOR STORMATER SYSTEMS ARE ASSUMED TO BE FROM CENTER OF DRAINAGE STRUCTURE TO CENTER OF DRAINAGE STRUCTURE, WITH THE EXCEPTION OF TIE-IN TO RECHARGER UNITS, WHERE PIPE LENGTHS ARE SHOWN TO THE FACE OF THE STRUCTURE.
23. STORMWATER RECHARGER UNITS SHALL BE 330XLHD MANUFACTURED BY CULTEC. EQUALIZATION PIPING SHALL BE INSTALLED AT 14FT INTERVALS.

EROSION AND SEDIMENT CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
2. ANY POTENTIALLY EROSION MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
3. DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
4. DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
5. THE VILLAGE OF PORT CHESTER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
6. THE VILLAGE OF PORT CHESTER MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES TO DETERMINE THEIR EFFECTIVENESS AND MAY REQUIRE ADDITIONAL MEASURES, AS DEEMED NECESSARY.
7. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR FOR CONFORMANCE WITH NYSDEC STANDARDS. SEDIMENT SHALL BE REMOVED WHEN THE ACCUMULATION REACHES 50% OF THE EFFECTIVE DEPTH.
8. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL EMPLOY DEWATERING AND SEDIMENT REMOVAL TECHNIQUES IN ACCORDANCE WITH NEW YORK DEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED ONCE THE DISTURBED AREAS HAVE BEEN STABILIZED.
10. THERE SHALL BE NO SOIL STOCKPILING, PARKING OF CONSTRUCTION EQUIPMENT OR STORAGE OF CONSTRUCTION MATERIALS IN AREAS THAT ARE PROPOSED FOR STORMWATER MANAGEMENT.
11. SLOPE STABILIZATION SHALL CONSIST OF ONE OF THE FOLLOWING:
 - ESTABLISHMENT OF VEGETATION FOR AREA WHERE SLOPES ARE 3:1 OR FLATTER.
 - INSTALLATION OF REINFORCED TURF IN AREAS WHERE SLOPES ARE 3:1 TO 2:1. REINFORCEMENT MATTING AND ANCHORAGE PER GEOTECHNICAL ENGINEER.
 - ESTABLISHMENT OF STABLE ROCK FACE, AS DETERMINED BY GEOTECHNICAL ENGINEER.
 - OTHER STRUCTURAL OR NON STRUCTURAL MEASURES FOR SPECIAL OR SPECIFIC CONDITIONS, AS DETERMINED BY GEOTECHNICAL ENGINEER.

CONSTRUCTION SEQUENCING SCHEDULE:

1. INSTALL SILT FENCE AND CONSTRUCTION FENCING PRIOR TO MOBILIZATION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, FIELD TRAILER AND IDENTIFY CRITICAL AREAS INCLUDING STAGING AREAS, VEHICULAR PARKING AREAS AND STOCKPILE AREAS.
3. INSTALL FENCING TO PROTECT PROPOSED STORMWATER MANAGEMENT AREAS FROM CONSTRUCTION TRAFFIC.
4. INSTALL DMH-1 AND DMH-2 AND ASSOCIATED PIPING.
5. INSTALL TEMPORARY INLET OR 12" RISER TO DMH-2.
6. CONSTRUCT EXCAVATED DROP INLET AT DMH-2.
7. PROCEED WITH CLEARING AND GRUBBING OPERATIONS AND ROUGH GRADING.
8. PROCEED WITH ROCK REMOVAL AND ROCK CRUSHING OPERATIONS.
9. CONSTRUCT BUILDING FOUNDATION WALLS AND REMOVE EXCESS SOILS WITHIN THE BUILDING FOOTPRINT.
10. REMOVE TEMPORARY INLET OR RISER.
11. INSTALL MODULAR BUILDING UNITS.
12. INSTALL STORMWATER MANAGEMENT SYSTEM, INLETS AND PIPING AND PROVIDE INLET PROTECTION AROUND NEWLY INSTALLED INLETS.
13. INSTALL SITE UTILITIES INCLUDING WATER, SEWER, GAS AND ELECTRIC SERVICES.
14. INSTALL CURBS, SIDEWALKS AND PAVEMENT BASE.
15. REMOVE CONSTRUCTION ENTRANCE ONCE SITE HAS BEEN STABILIZED.
16. INSTALL TOPSOIL AND PERMANENT STABILIZATION.
17. INSTALL BITUMINOUS PAVEMENT.
18. REMOVE ACCUMULATED SEDIMENT FROM THE STORM SYSTEM AND STORMWATER MANAGEMENT SYSTEMS.
19. REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ONCE THE SITE HAS BEEN STABILIZED.
20. EVALUATE POST-DEVELOPMENT RUNOFF CONDITIONS TO VERIFY THAT THE SITE RUNOFF IS EFFECTIVELY COLLECTED AND CONVEYED AS DESIGNED.



Rev. #	Revision Description	Date:
1	VILLAGE ENGINEER COMMENTS	3/26/2014
		5/30/2014

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

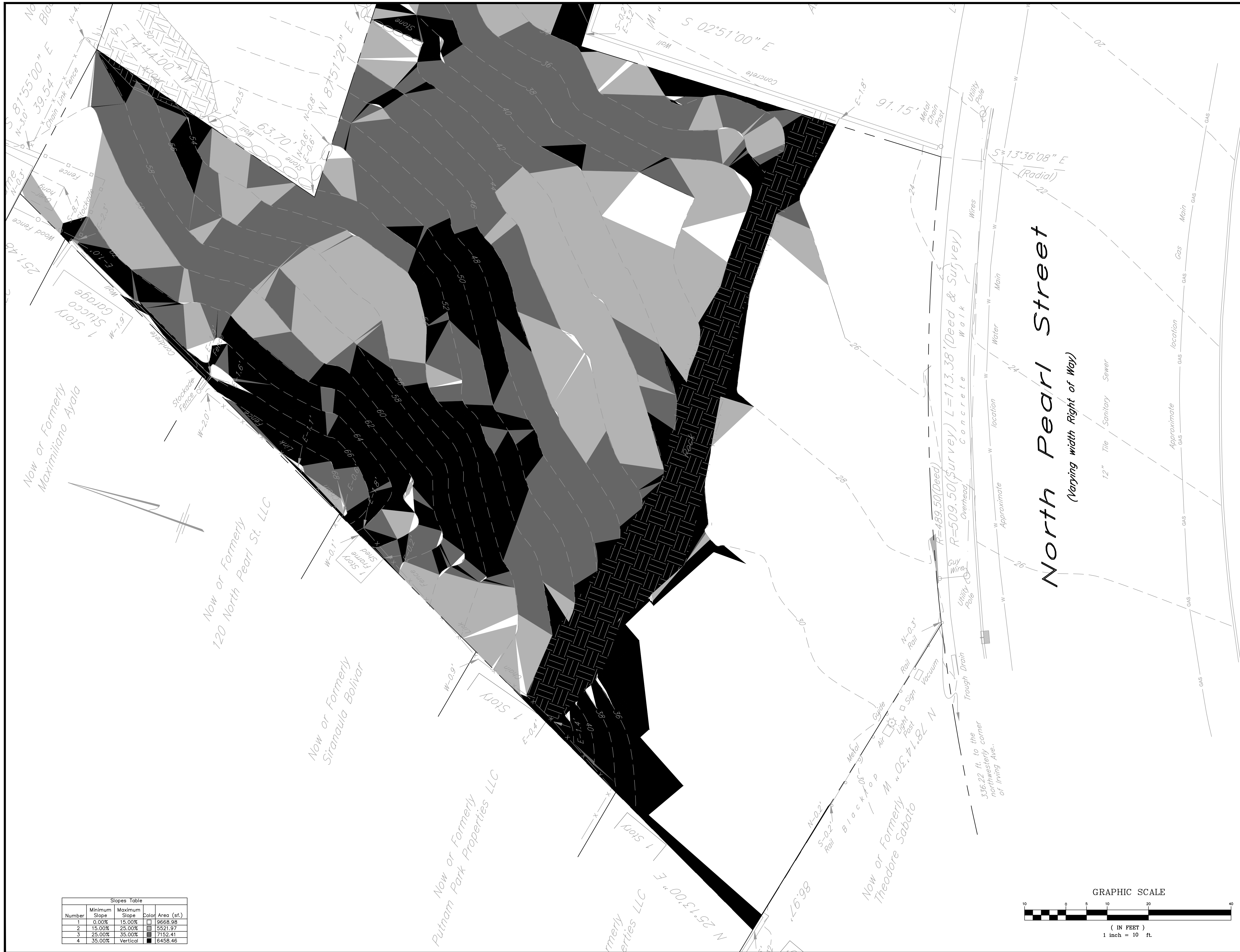
Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
 White Plains, N.Y. 10601
 914 949 1851 Fax 949 5376

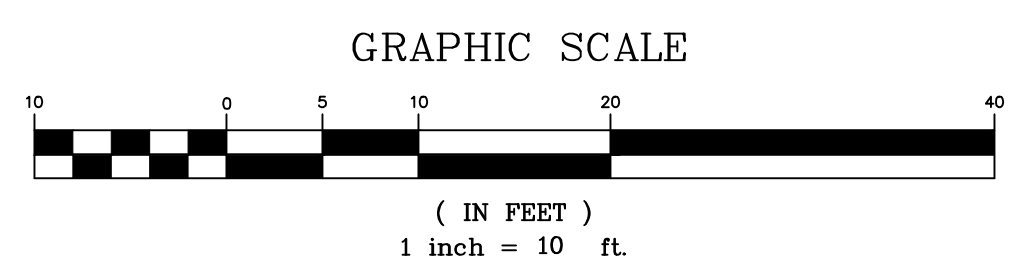
Catzone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
SITE PLAN NOTES

Seal & Signature	Date:	03-03-2014
	Scale:	1"=10'
	Job#:	14003
	Sheet Title:	SD-407
	Sheet:	of



Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	Area (sf.)
1	0.00%	15.00%	White	9668.98
2	15.00%	25.00%	Light Gray	5521.97
3	25.00%	35.00%	Medium Gray	7152.41
4	35.00%	Vertical	Dark Gray	6458.46



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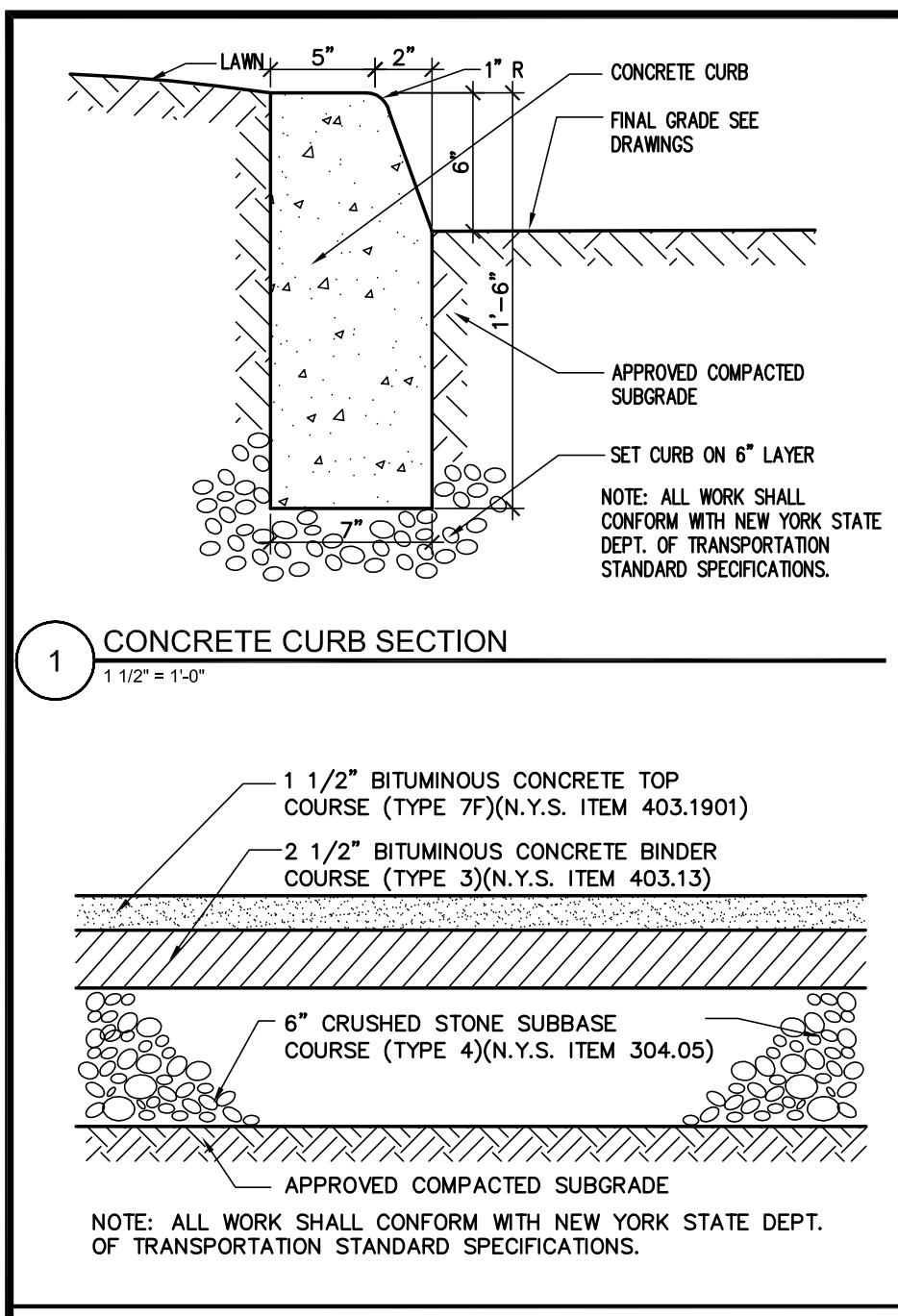
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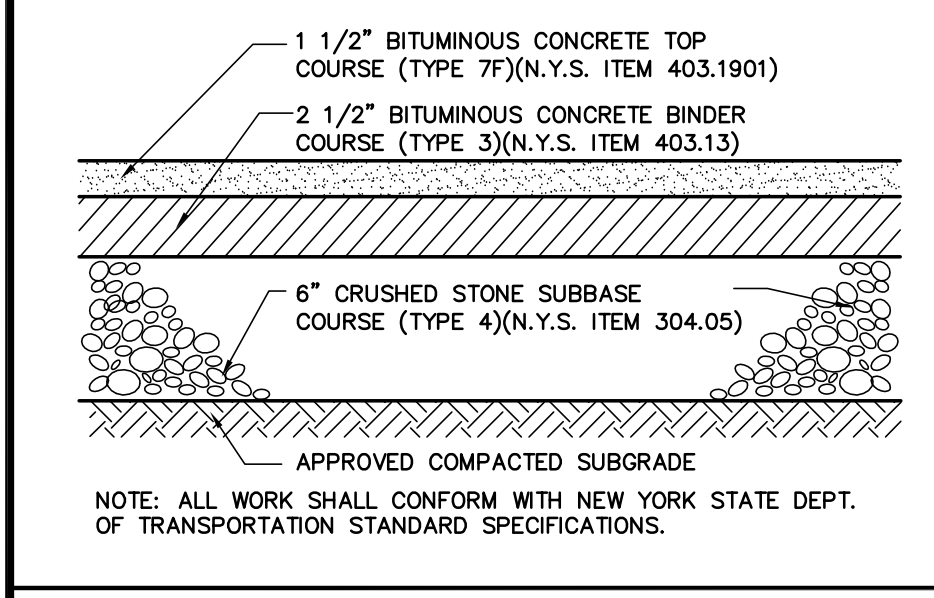
Catzone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
EXISTING SLOPES PLAN

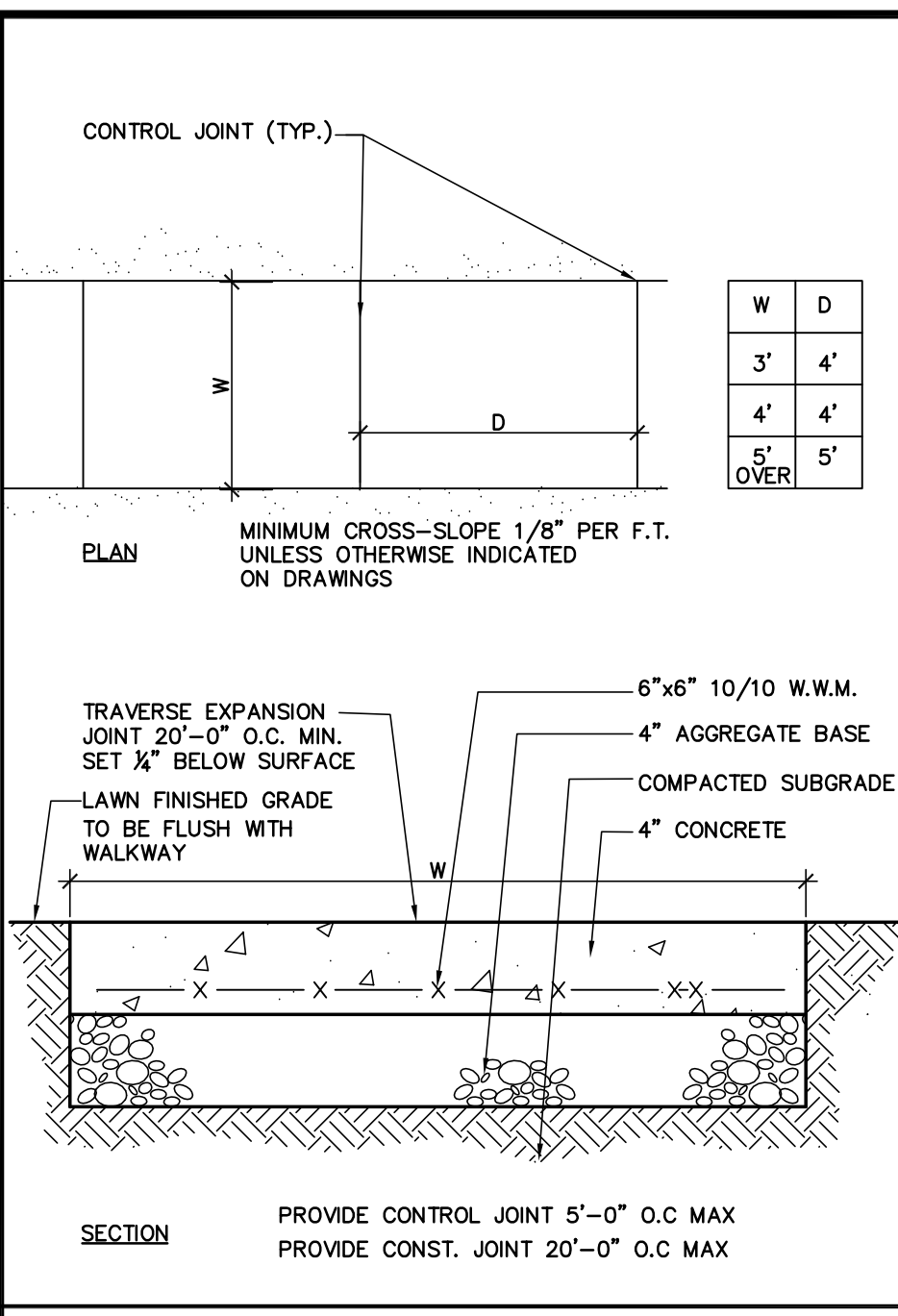
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	Sheet:	of



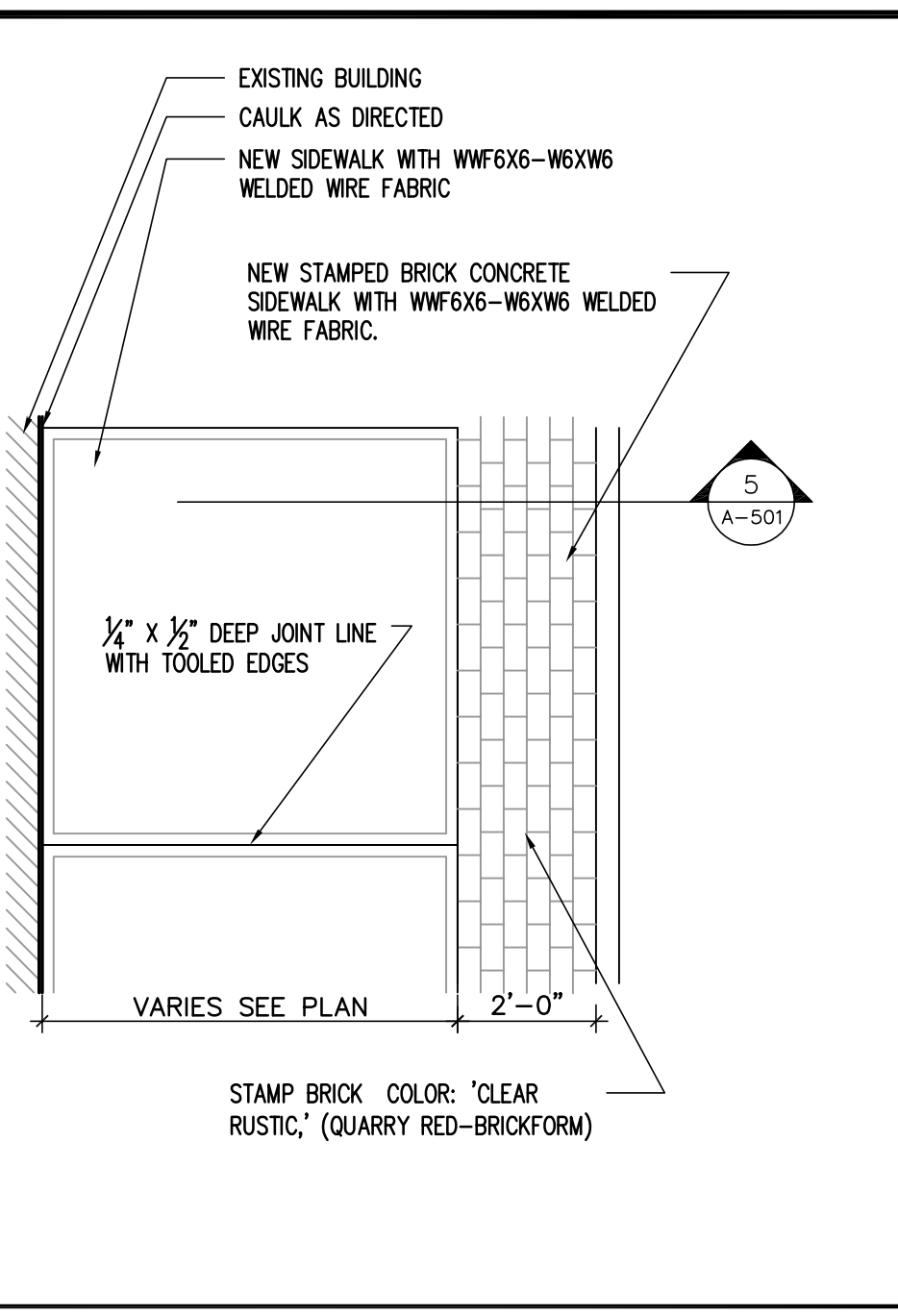
1 CONCRETE CURB SECTION
1/12" = 1'-0"



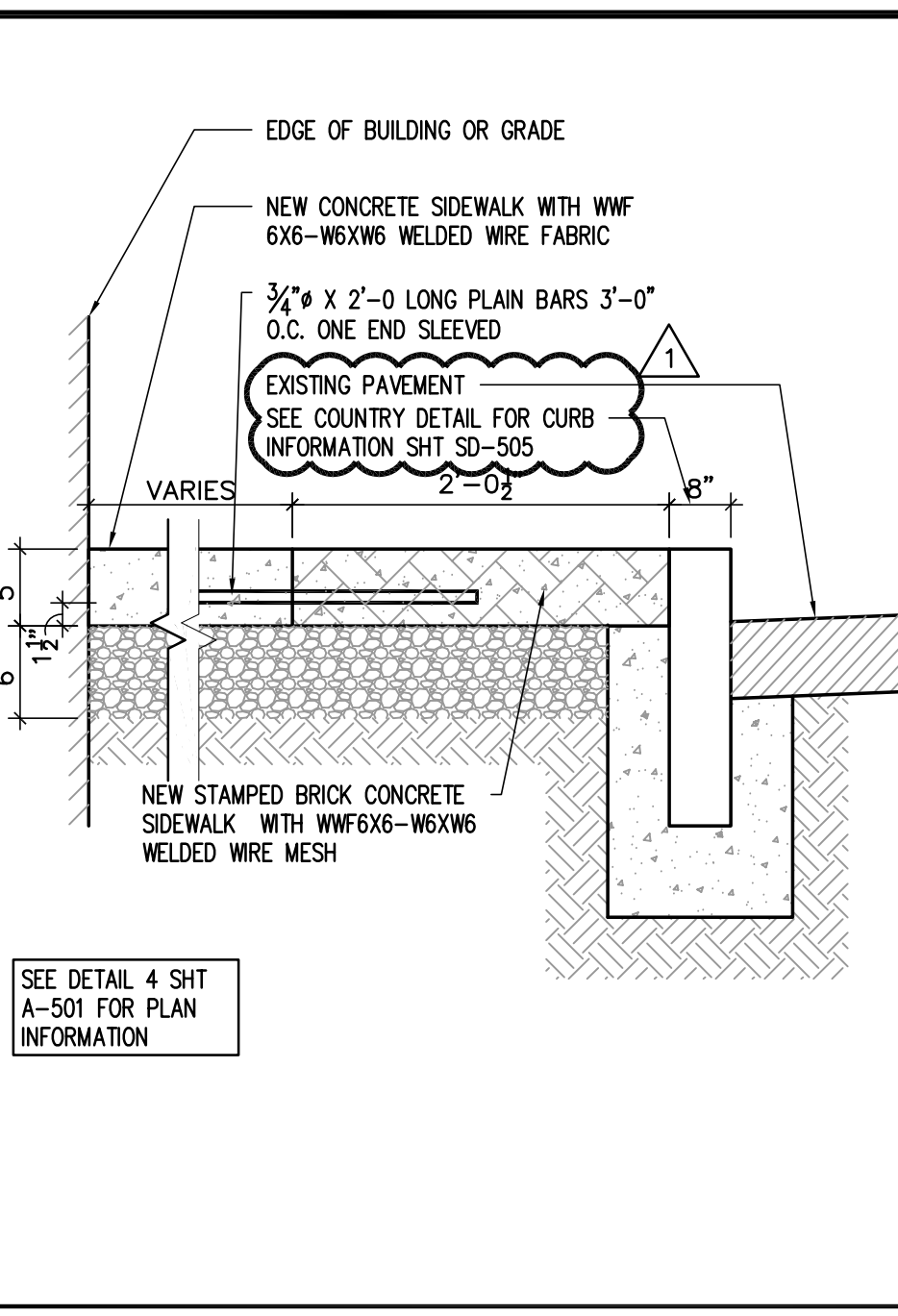
2 ASPHALT PAVING DETAIL
1/12" = 1'-0"



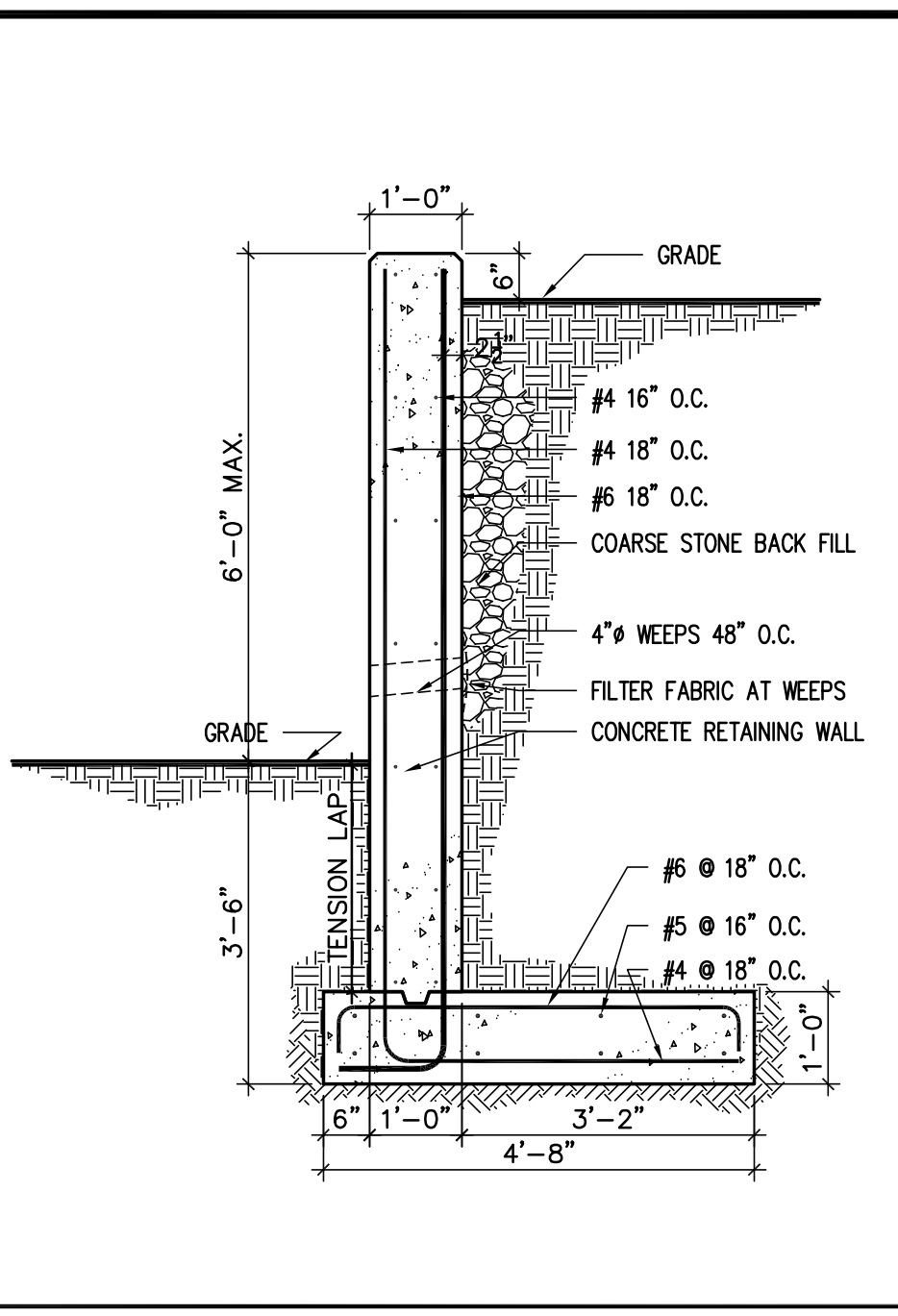
3 CONCRETE WALK DETAIL
1/12" = 1'-0"



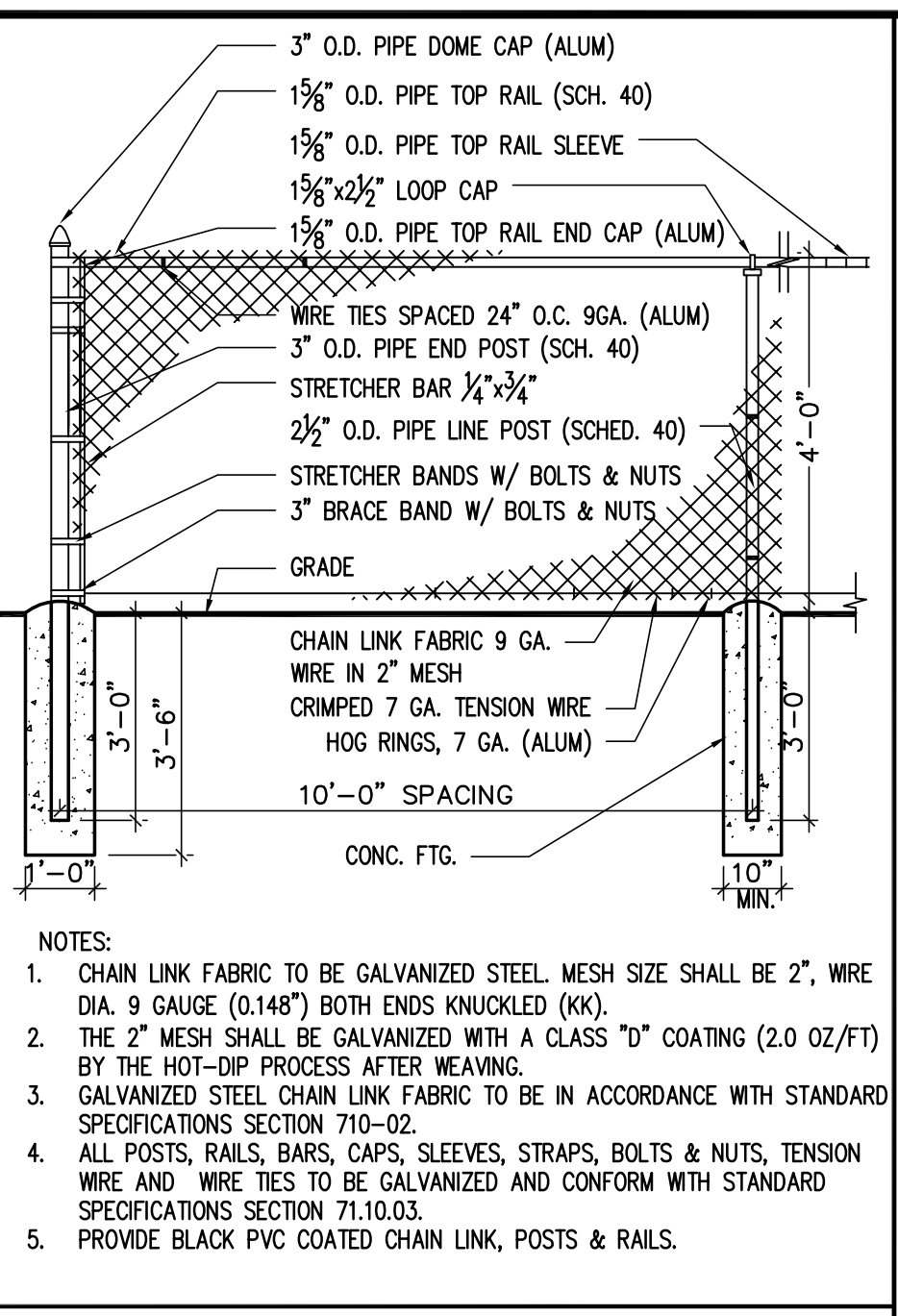
4 STAMPED CONCRETE PLAN DETAIL
3/8" = 1'-0"



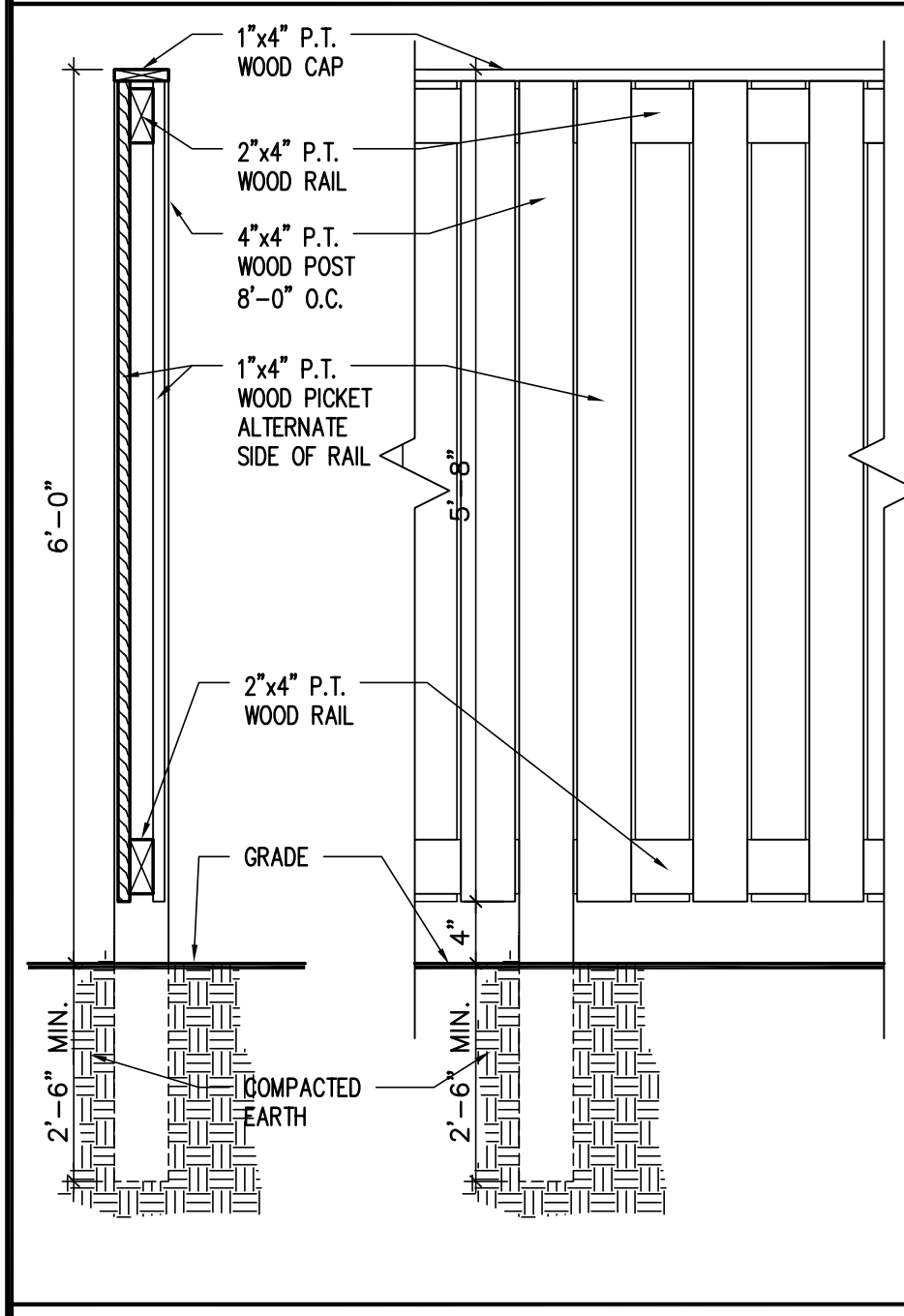
5 STAMPED CONCRETE SECTION
1" = 1'-0"



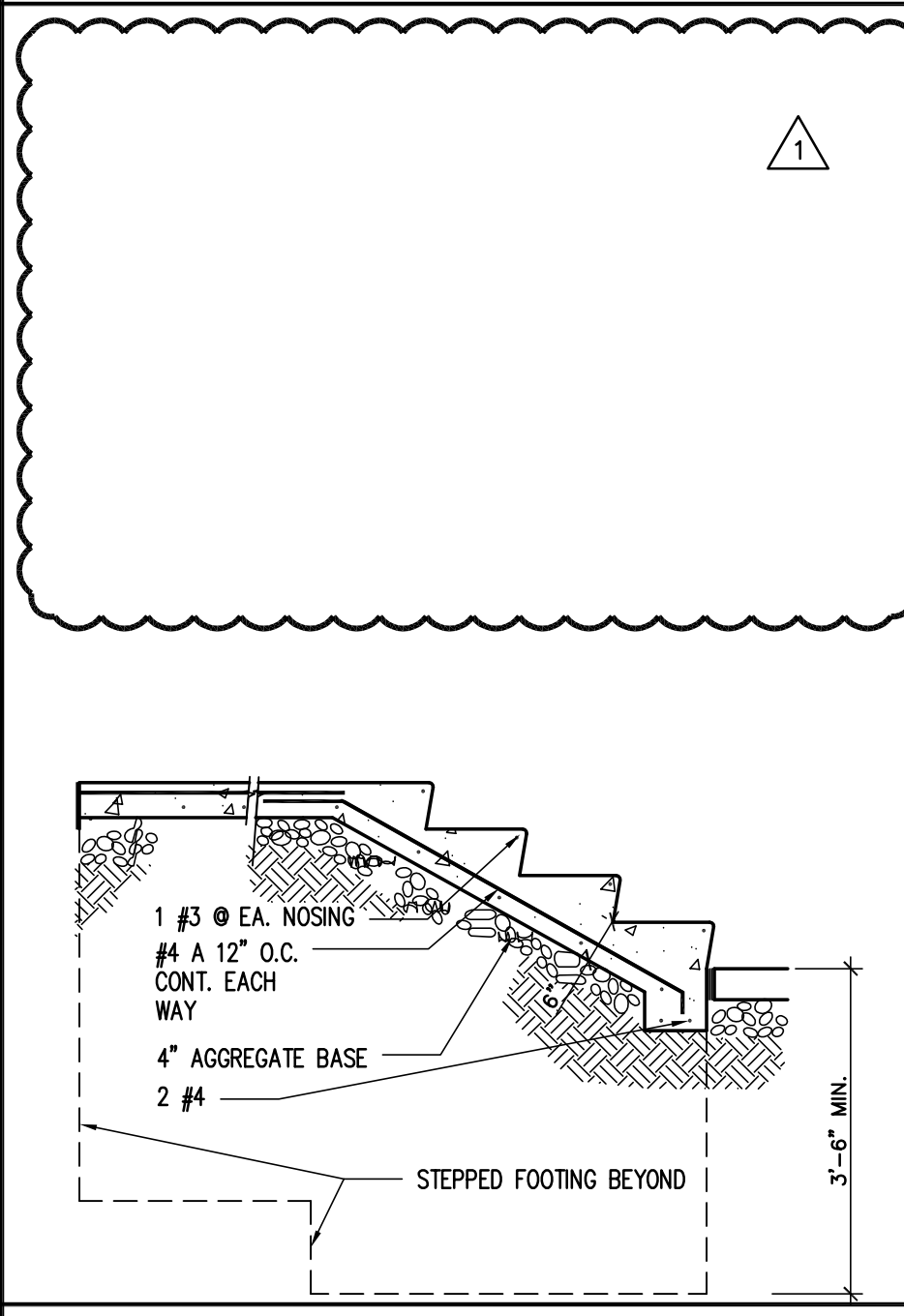
6 CONCRETE RETAINING WALL SECTION
1/12" = 1'-0"



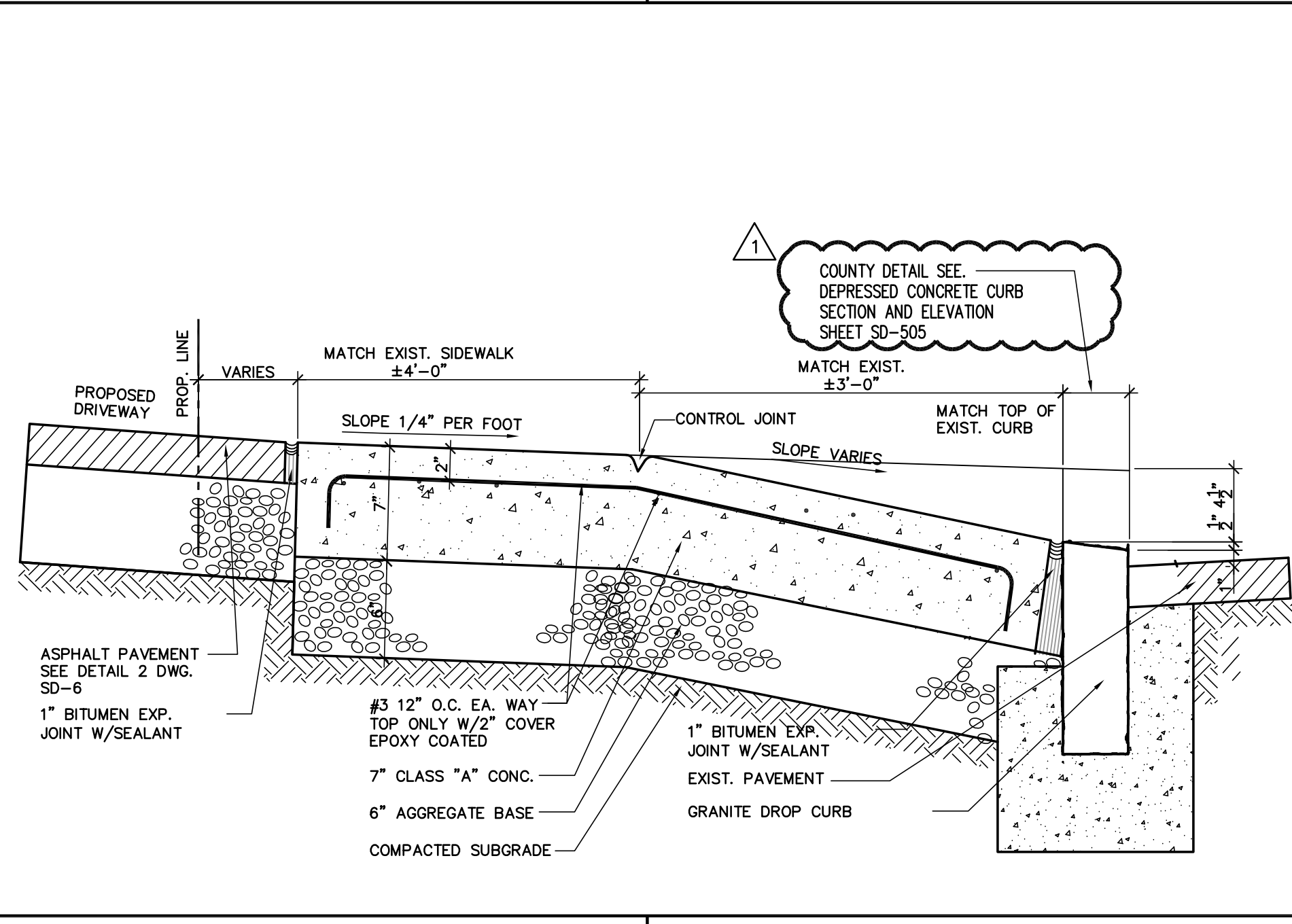
7 CHAIN LINK FENCE DETAIL
3/8" = 1'-0"



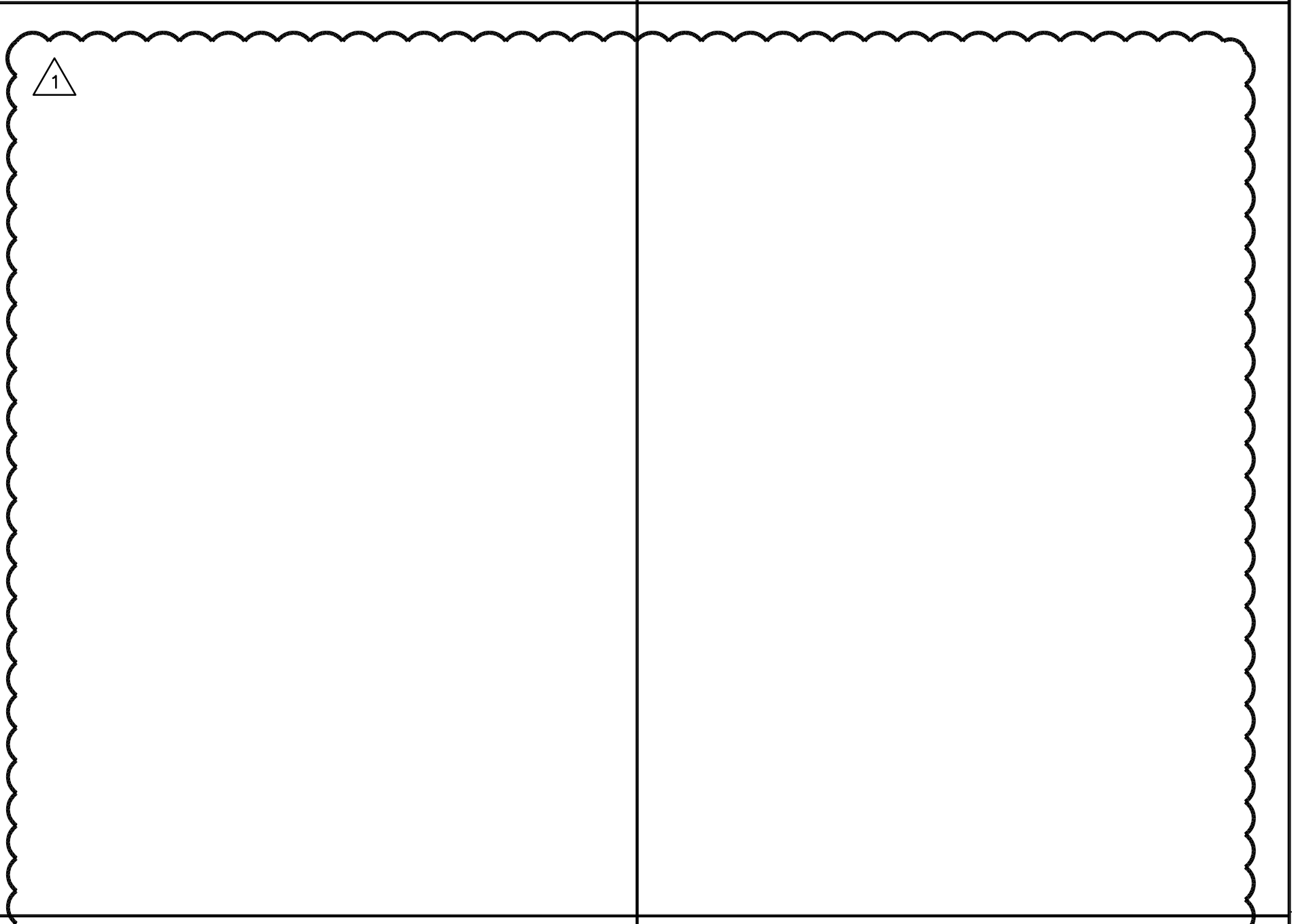
8 WOOD FENCE DETAIL
1" = 1'-0"



9 CONCRETE STAIR DETAIL
1/2" = 1'-0"



10 DRIVEWAY SECTION
1/12" = 1'-0"



Rev. #	Revision Description	Date
1	VILLAGE ENGINEER COMMENTS	3/26/2014
		5/30/2014

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 PROPOSED MULTIFAMILY DEVELOPMENT
 120 NORTH PEARL STREET
 PORT CHESTER, NEW YORK 10573

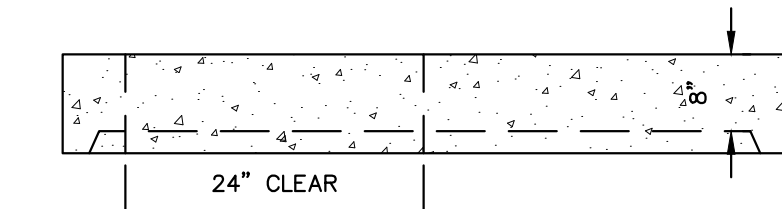
Building Owner:
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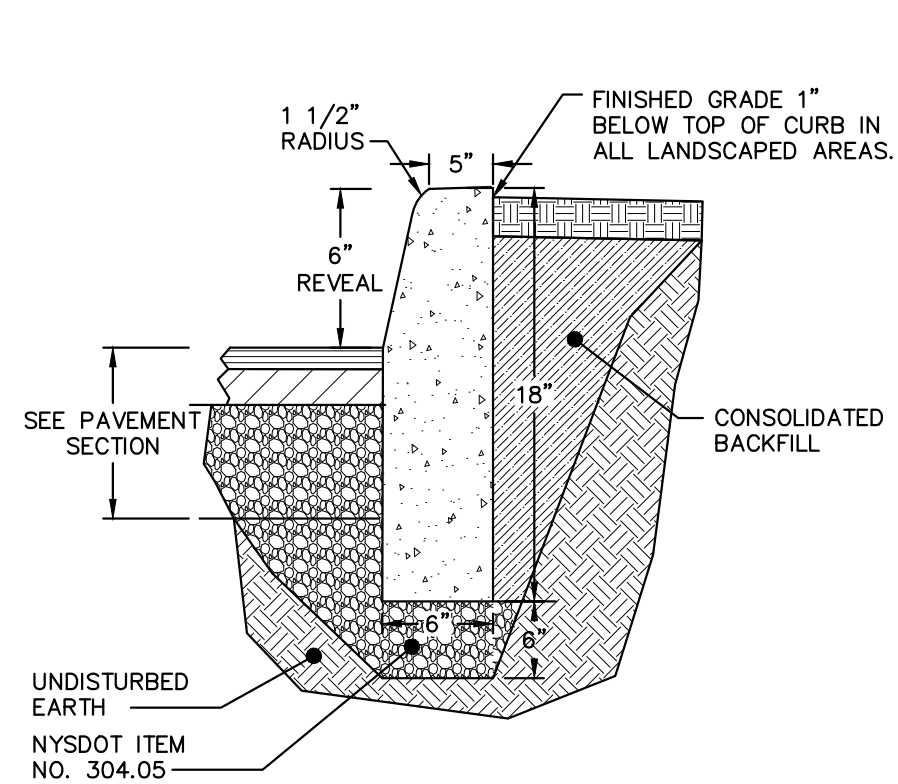
Catizone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
SITE DETAILS

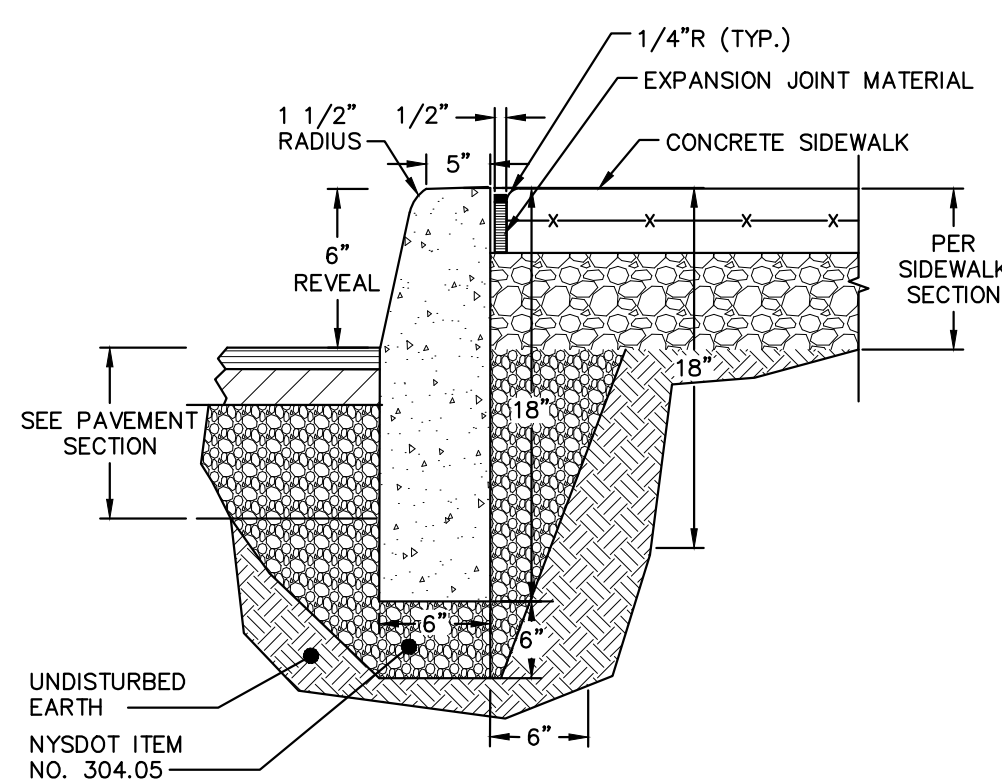
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	Scale:	AS NOTED
	Job#:	1321
	Sheet Title:	SD-501
Sheet: SHEET INDEX OF TOTAL SHEETS		



SHALLOW MANHOLE REINFORCED CONCRETE TOP SLAB
NOT TO SCALE

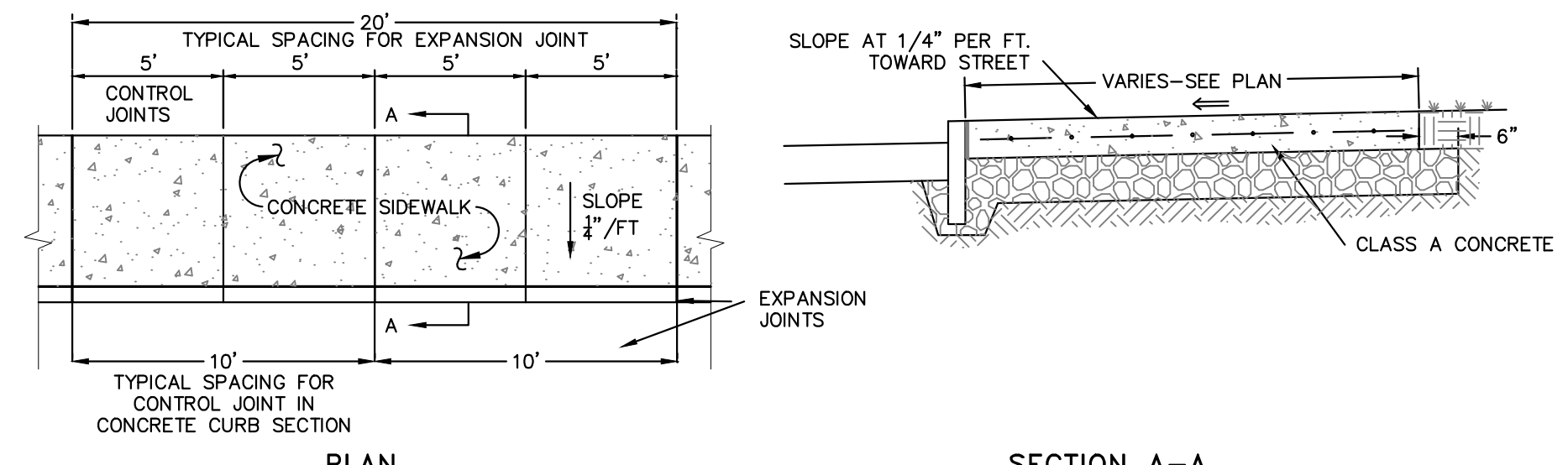


ABUTTING GRASS OR LANDSCAPE

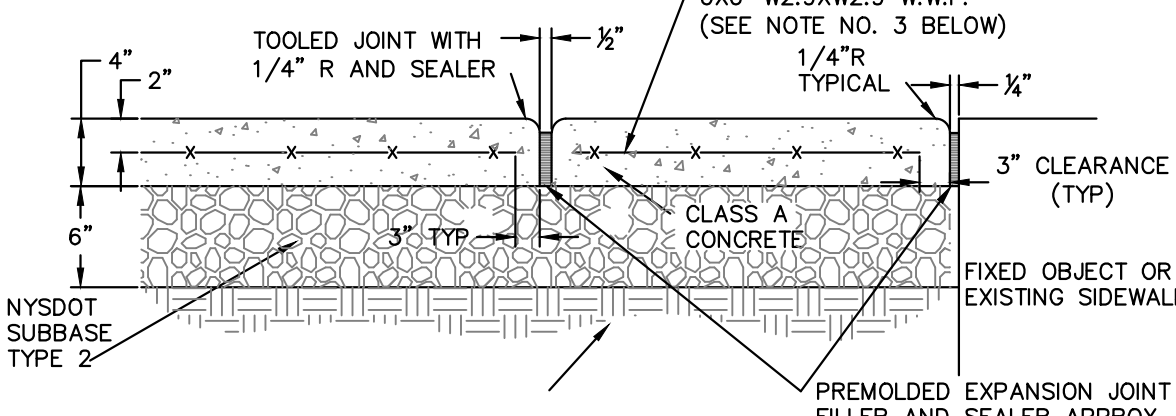


ABUTTING SIDEWALK

- NOTES:**
1. CONCRETE CURB SHALL BE 3,500 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYS DOT STANDARD SPECIFICATION SECTION 609.
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.

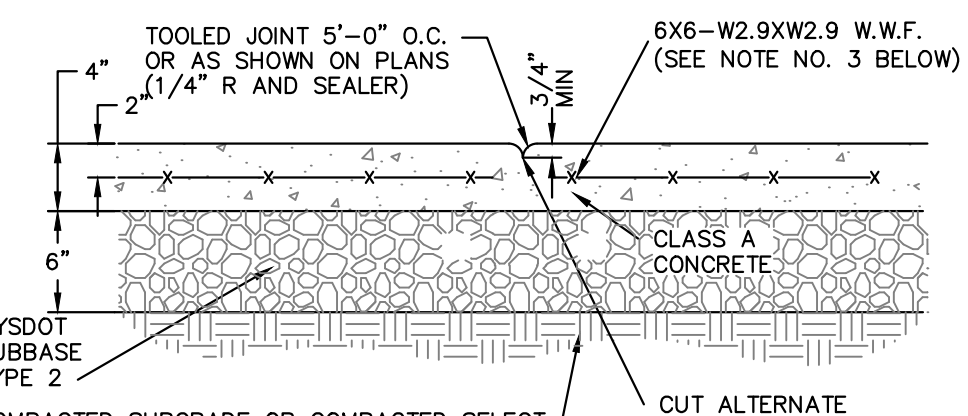


PLAN



EXPANSION JOINT

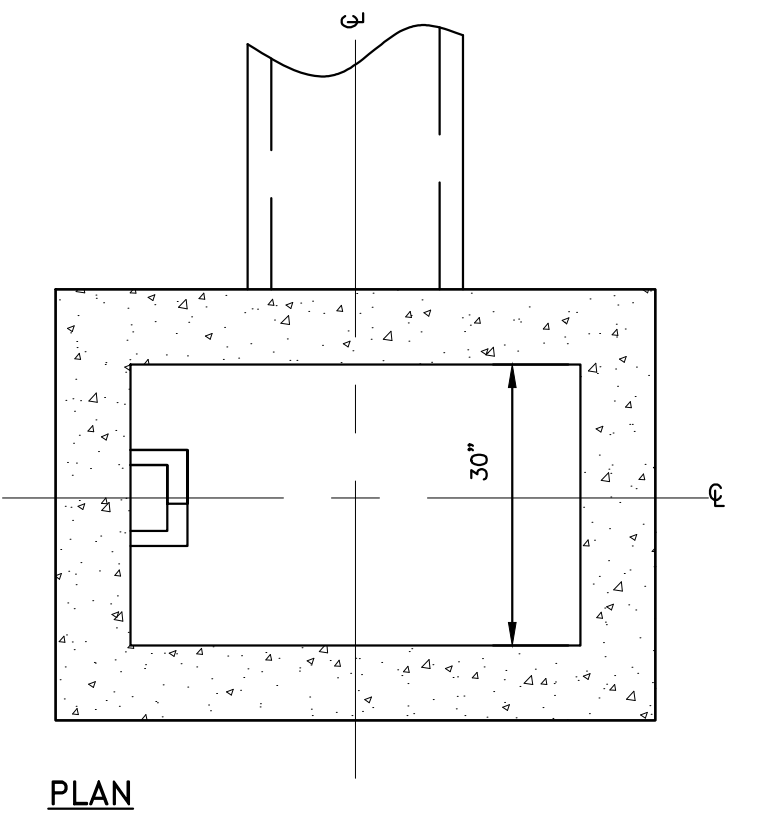
SECTION A-A



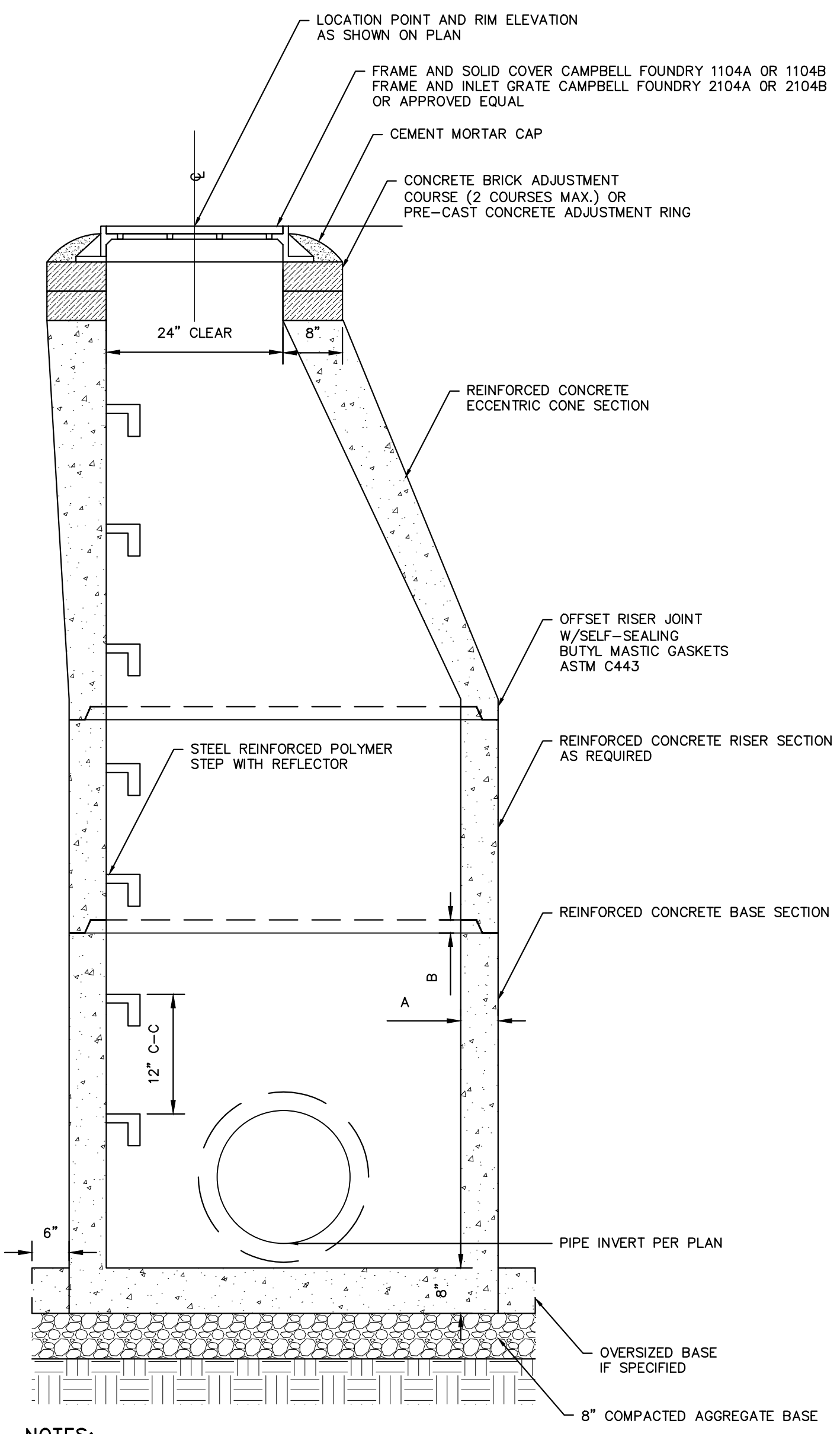
CONTROL JOINT

- NOTES:**
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.
 2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERETO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
 3. ALL CONCRETE SHALL BE 3500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
 3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 4. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 5. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 6. JOINTS SHALL NOT BE SAW CUT.

CAST-IN-PLACE CONCRETE CURB DETAIL
NOT TO SCALE



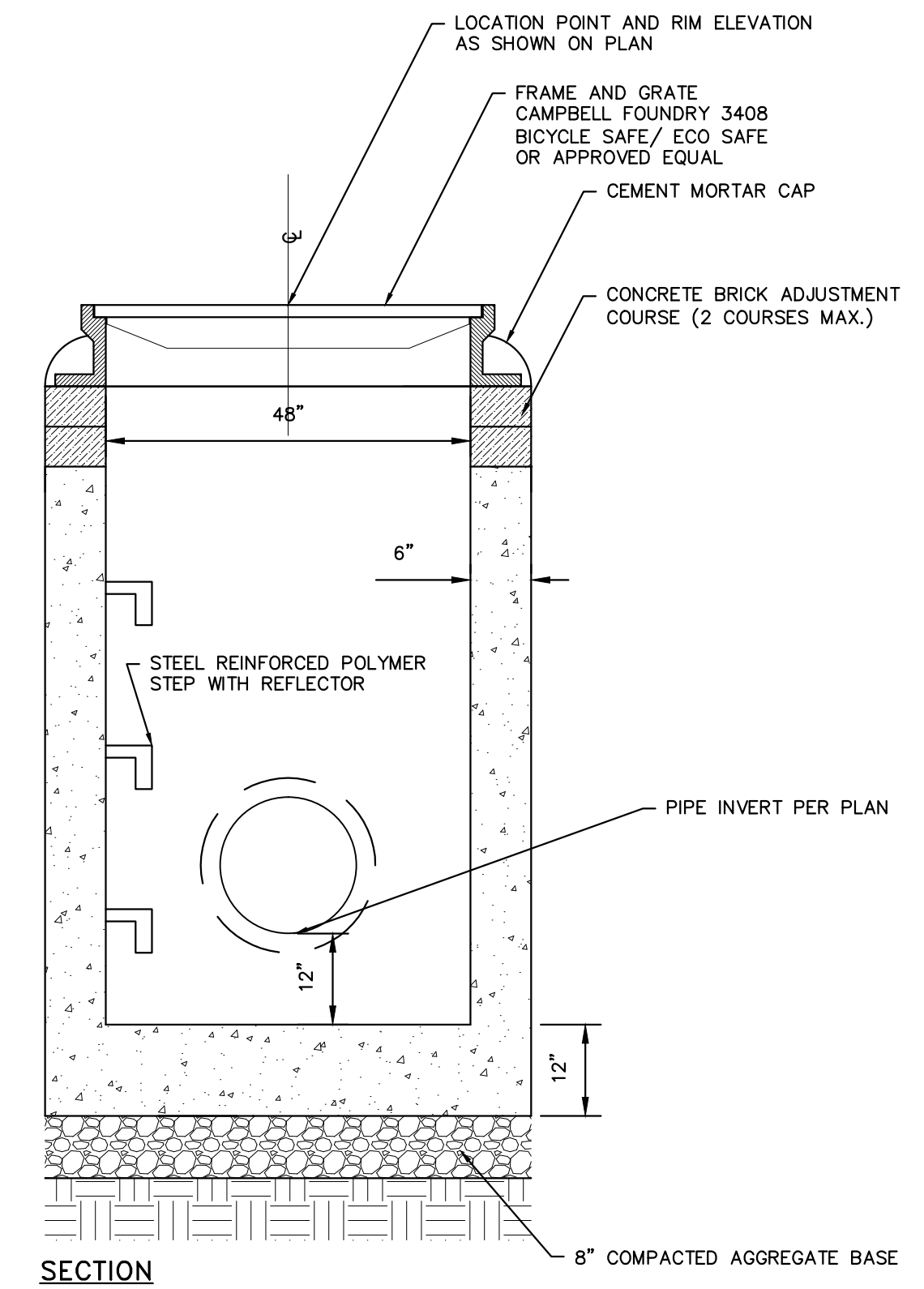
PLAN



- NOTES:**
1. MANHOLES SHALL CONFORM TO ASTM C-478.
 2. A SHALLOW MANHOLE TOP SHALL BE UTILIZED FOR MANHOLES HAVING AN OVERALL DEPTH OF 5 FT. OR LESS OR IF THE PIPE PENETRATION WOULD OTHERWISE BE WITHIN THE ECCENTRIC CONE SECTION.
 3. PRECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4,000 PSI AT 28 DAYS.
 4. STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-185.
 5. ALL SECTIONS SHALL BE FABRICATED IN A SINGLE MONOLITHIC CONCRETE POUR.
 6. MANHOLES SHALL BE CERTIFIED AS MEETING H20 VEHICULAR LOADING REQUIREMENTS.
 7. PIPE PENETRATIONS SHALL BE FILLED AND PARGED WITH CEMENT MORTAR FOR A SOIL TIGHT CONNECTION. ALTERNATIVELY, RUBBER BOOTS OR "LINK-SEAL" MAY BE USED.
 8. MAXIMUM PIPE SIZE IS BASED ON 45° AND 90° DEFLECTION ANGLE. THE ACTUAL MANHOLE DIAMETER SHALL BE DETERMINED BY THE PIPE SIZES, CONFIGURATIONS AND DEFLECTION ANGLES FOR EACH MANHOLE.
 9. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

REQUIREMENTS FOR MANHOLE				
DIA.	A	B	Dmax 45° DEFL	Dmax 90° DEFL
48"	5"	4 1/4"	30"	24"
60"	6"	4 3/4"	36"	30"
72"	7"	5"	42"	36"
84"	8"	5 1/4"	48"	42"

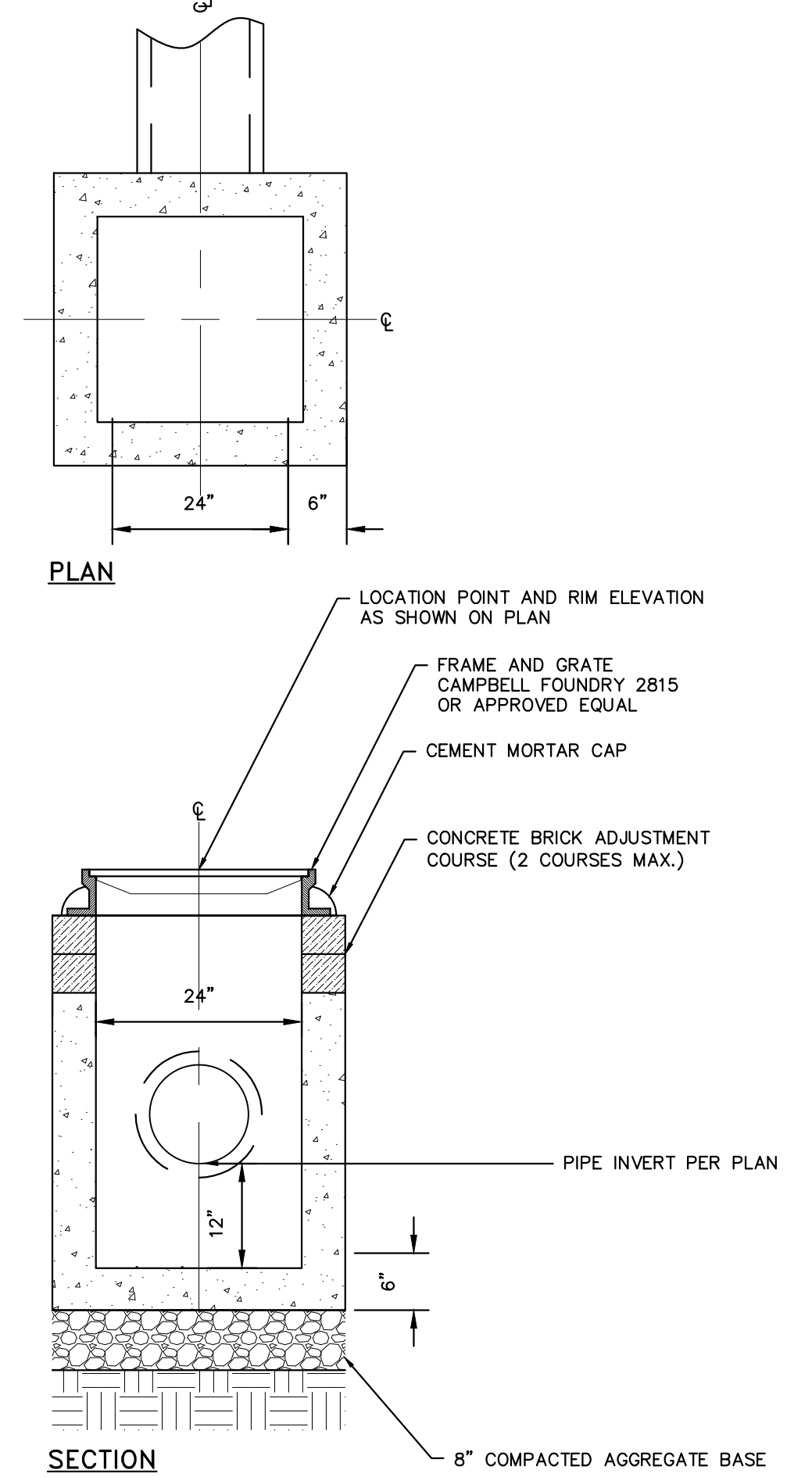
DRAINAGE MANHOLE (DMH)
NOT TO SCALE



SECTION

- NOTES:**
1. DRAIN INLET SHALL CONFORM TO ASTM C-913.
 2. GRATES MUST BE "ECO-FRIENDLY".
 3. PRECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4,000 PSI AT 28 DAYS.
 4. STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-185.
 5. ALL SECTIONS SHALL BE FABRICATED IN A SINGLE MONOLITHIC CONCRETE POUR.
 6. PIPE PENETRATIONS SHALL BE FILLED AND PARGED WITH CEMENT MORTAR FOR A SOIL TIGHT CONNECTION. ALTERNATIVELY, RUBBER BOOTS OR "LINK-SEAL" MAY BE USED.
 7. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

DRAIN INLET (DI)
NOT TO SCALE

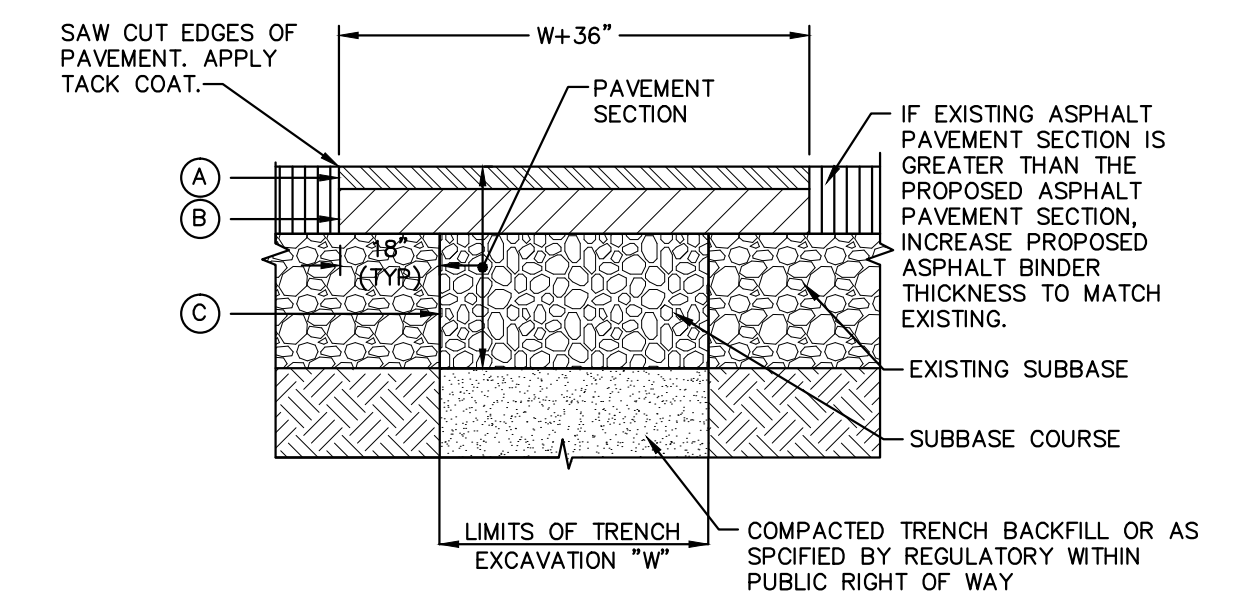


SECTION

- NOTES:**
1. YARD SHALL CONFORM TO ASTM C-913.
 2. PRECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4,000 PSI AT 28 DAYS.
 3. STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-185.
 4. ALL SECTIONS SHALL BE FABRICATED IN A SINGLE MONOLITHIC CONCRETE POUR.
 5. PIPE PENETRATIONS SHALL BE FILLED AND PARGED WITH CEMENT MORTAR FOR A SOIL TIGHT CONNECTION. ALTERNATIVELY, RUBBER BOOTS OR "LINK-SEAL" MAY BE USED.
 6. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

YARD DRAIN (YD)
NOT TO SCALE

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

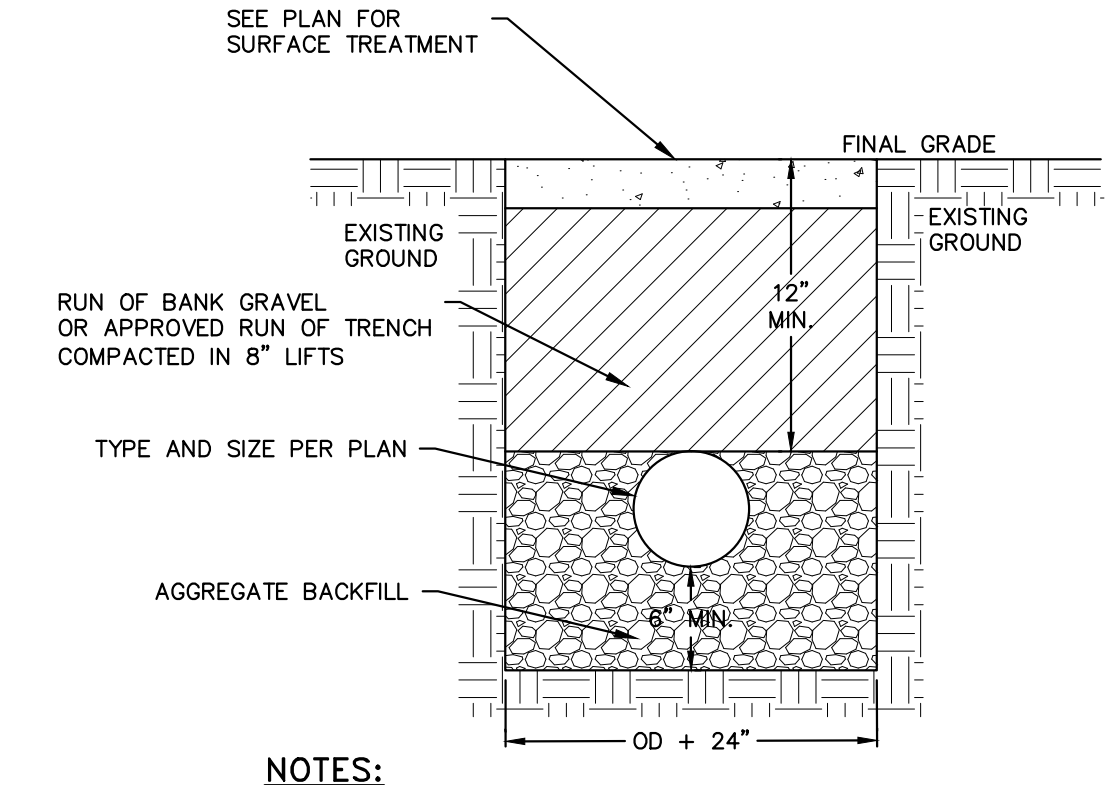


LEGEND

- (A) 1 1/2" ASPHALT CONCRETE TOP COURSE - NYS DOT TYPE 6, ITEM 403.16
- (B) 3 1/2" ASPHALT CONCRETE BINDER COURSE - NYS DOT TYPE 1, ITEM 403.13
- (C) 8" GRANULAR SUBBASE COURSE - NYS DOT TYPE 4, ITEM 304.05

- NOTES:**
1. SAW CUT MIN. 18" BEYOND EXCAVATION.
 2. FURNISH, PLACE, AND COMPACT SUBBASE.
 3. TACK COAT IN ACCORDANCE WITH NYS DOT STANDARD SPEC.
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

PAVEMENT RESTORATION DETAIL
NOT TO SCALE



NOTES:

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

SANITARY AND STORMWATER PIPE IN TRENCH DETAIL
NOT TO SCALE

1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

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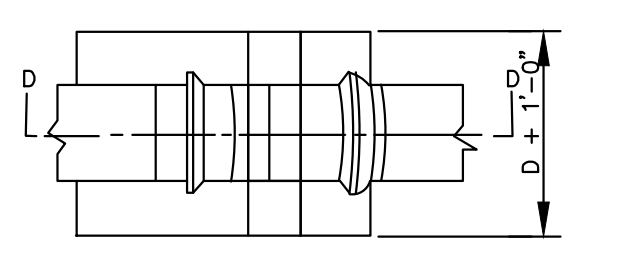
Building Owner:
AGD NORTH PEARL LLC
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188 East Post Road
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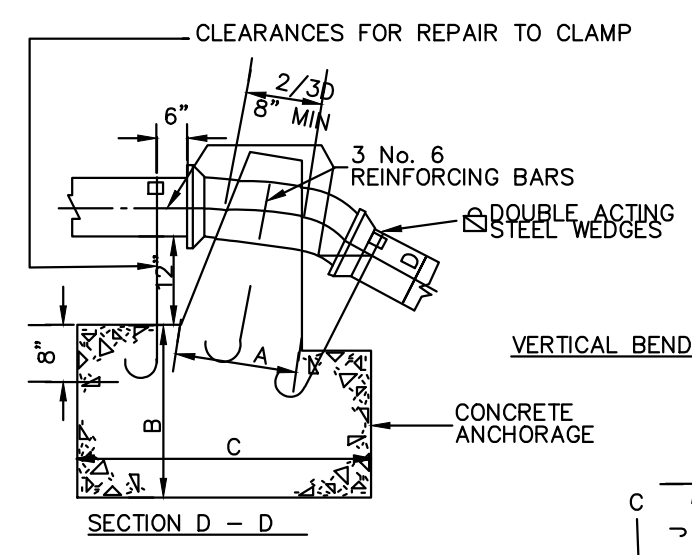
Catzzone Engineering, P.C.
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914 269 8358

Sheet Title:
SITE DETAILS

Seal & Signature	Date:	03-03-2014
	Scale:	1"=10'
	Job#:	14003
	Sheet Title:	SD-502
	Sheet:	of



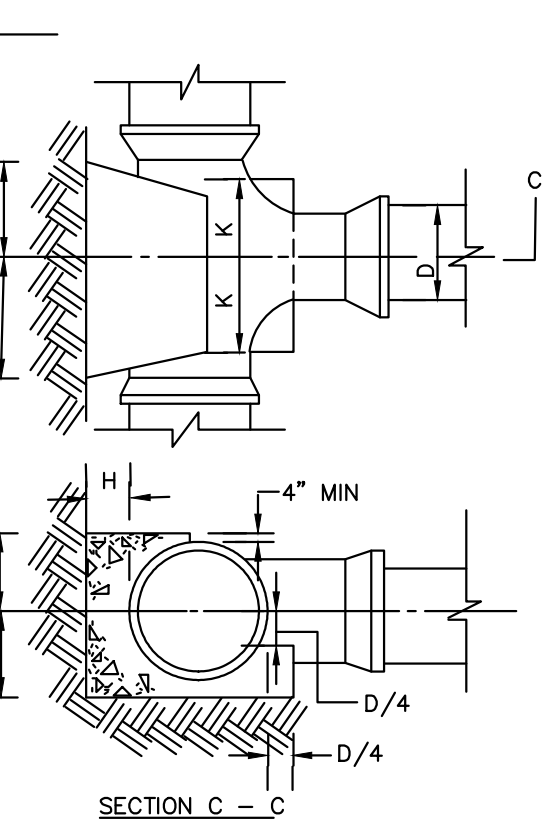
VERTICAL BEND		DIAMETER (D)			
BEND	6"	8"	10"	12"	16"
1/32 (1/16 DEPT.)	1'-6"	2'-0"	2'-8"	3'-0"	3'-6"
C	2'-0"	2'-6"	2'-8"	3'-0"	3'-6"
1/16 (1/8 DEPT.)	1'-9"	2'-3"	2'-8"	2'-8"	2'-8"
C	2'-6"	2'-8"	3'-10"	4'-0"	5'-6"
1/8 (1/4 DEPT.)	2'-6"	2'-9"	3'-0"	4'-0"	5'-2"
C	3'-0"	4'-0"	4'-8"	4'-9"	6'-6"



- NOTES:**
- ALL CONCRETE TO BE 3500 P.S.I. CONCRETE.
 - ALL THRUST BLOCK TO BE CARRIED TO UNDISTURBED EARTH.
 - THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 150 P.S.I. WATER PRESSURE AND SOIL RESISTANCE OF 2 KIPS PER SQ. FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SUBMIT FOR APPROVAL.

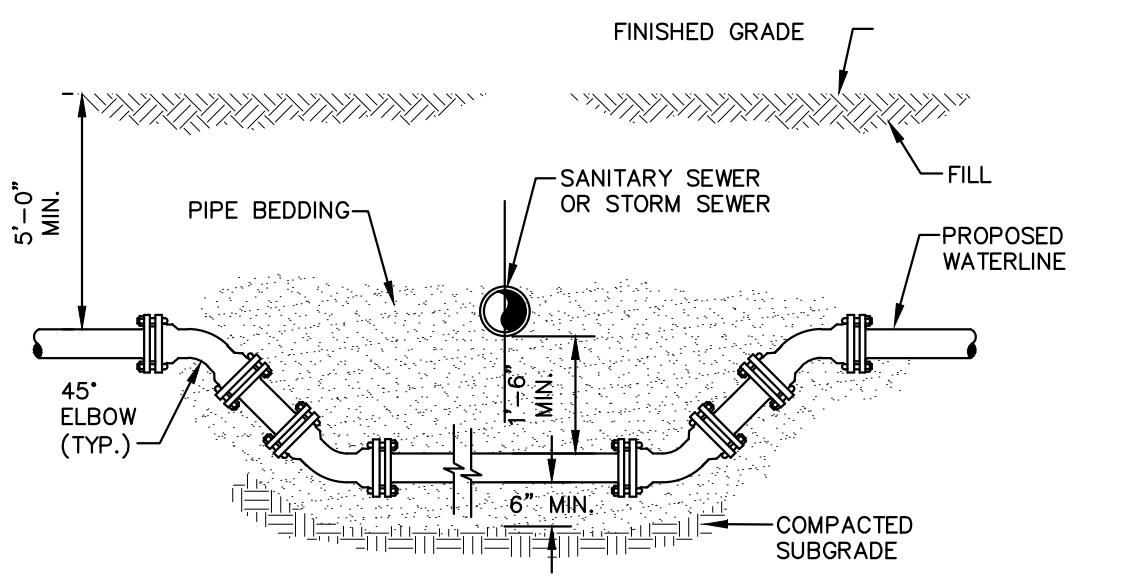
D*	6"	8"	10"	6"
H	8"	9"	10"	9"
I	8"	10"	12"	1'-2"
J	7"	9"	12"	1'-2"
K	6"	8"	8"	8"

* THROUGH PIPE DIAMETER



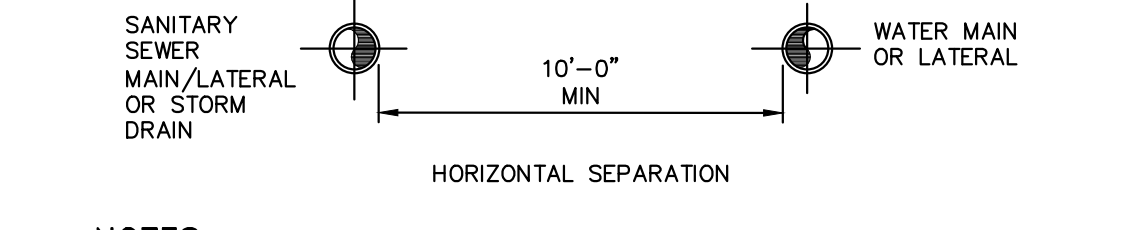
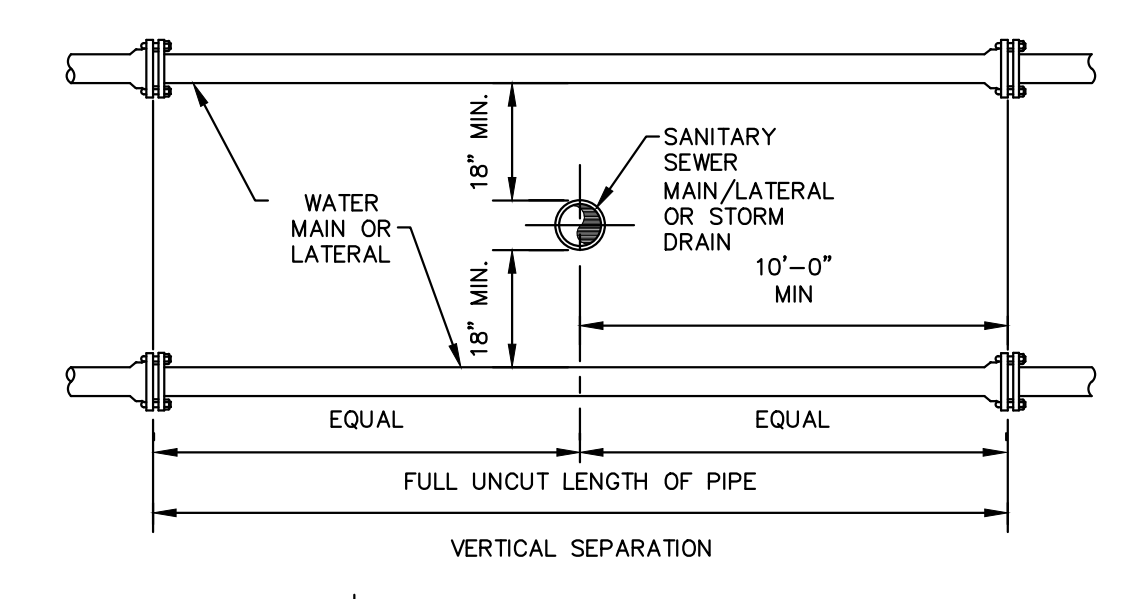
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 - ALL THRUST BLOCK TO BE CARRIED TO UNDISTURBED EARTH.
 - THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 150 P.S.I. WATER PRESSURE AND SOIL RESISTANCE OF 2 KIPS PER SQ. FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SUBMIT FOR APPROVAL.

WATER MAIN RESTRAINT DETAIL
NOT TO SCALE



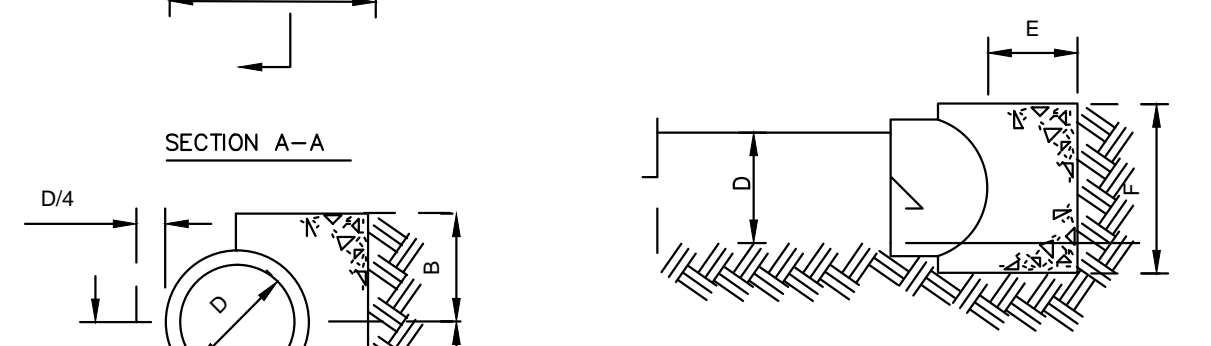
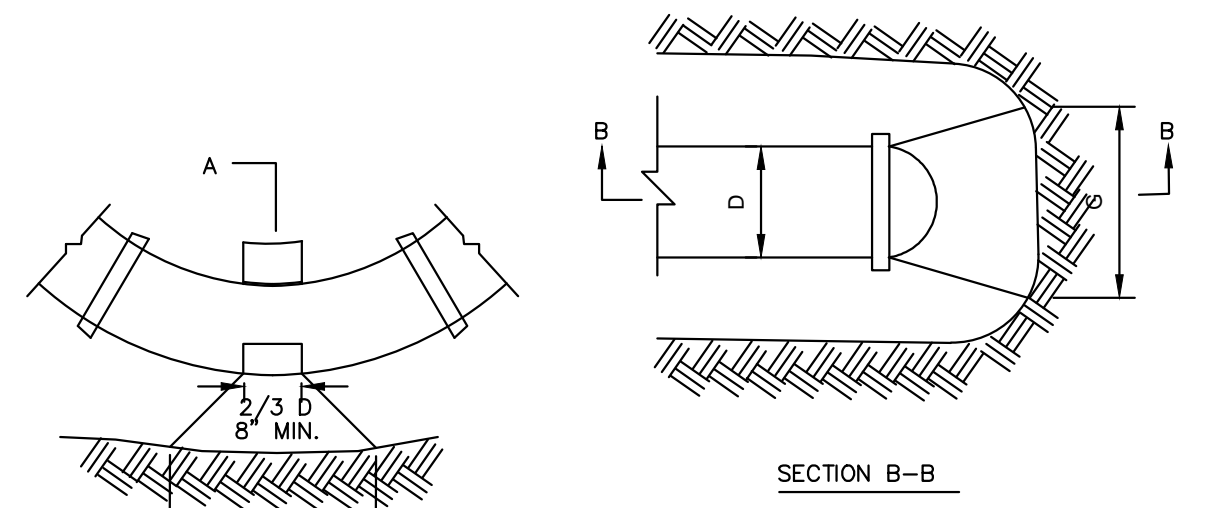
- NOTES:**
- WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE EXTENDING A MINIMUM OF TEN FEET TO EACH SIDE OF CROSSING. BOTH PIPES WILL BE SUBJECT TO PRESSURE TESTING, AS DIRECTED BY WCDOH.

WATER MAIN OFFSET DETAIL
NOT TO SCALE



- NOTES:**
- APPROVAL FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDOH) IS REQUIRED IF MINIMUM SEPARATION REQUIREMENTS CAN NOT BE MET.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE EXTENDING A MINIMUM OF TEN FEET TO EACH SIDE OF CROSSING. BOTH PIPES WILL BE SUBJECT TO PRESSURE TESTING, AS DIRECTED BY WCDOH.

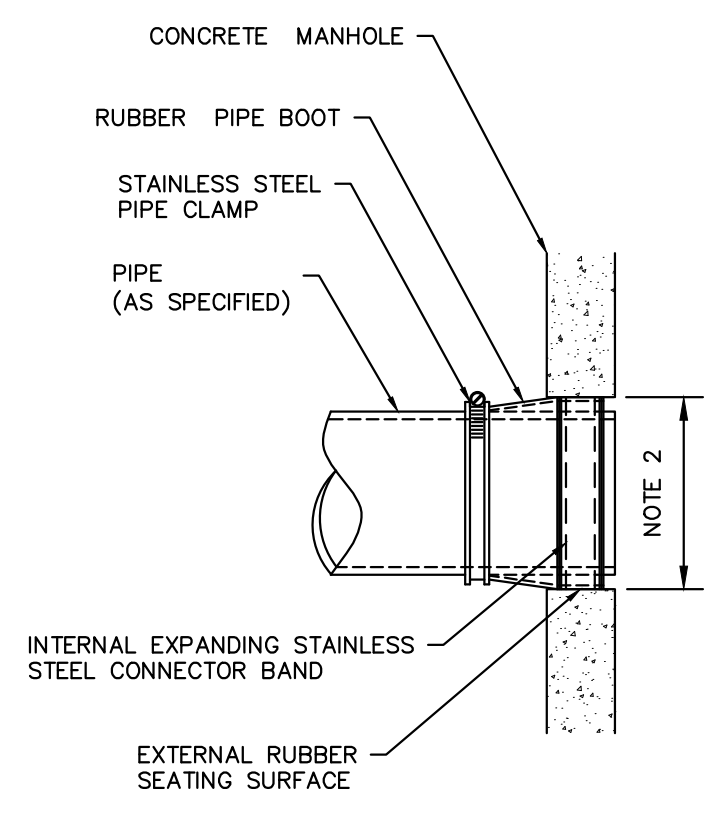
WATER MAIN SEPARATION DETAIL
NOT TO SCALE



PIPE SIZE		DIAMETER (D)			
BEND	6"	8"	10"	12"	16"
1/32 (1/16 DEPT.)	8"	8"	10"	12"	12"
C	7"	7"	8"	8"	8"
1/16 (1/8 DEPT.)	9"	12"	1'-6"	1'-9"	1'-9"
C	7"	9"	9"	10"	10"
1/8 (1/4 DEPT.)	1'-3"	1'-8"	2'-1"	2'-8"	2'-8"
C	8"	9"	10"	11"	11"
1/4 (1/2 DEPT.)	2'-0"	2'-6"	3'-0"	3'-6"	3'-6"
C	1'-10"	1'-9"	1'-8"	2'-6"	2'-6"

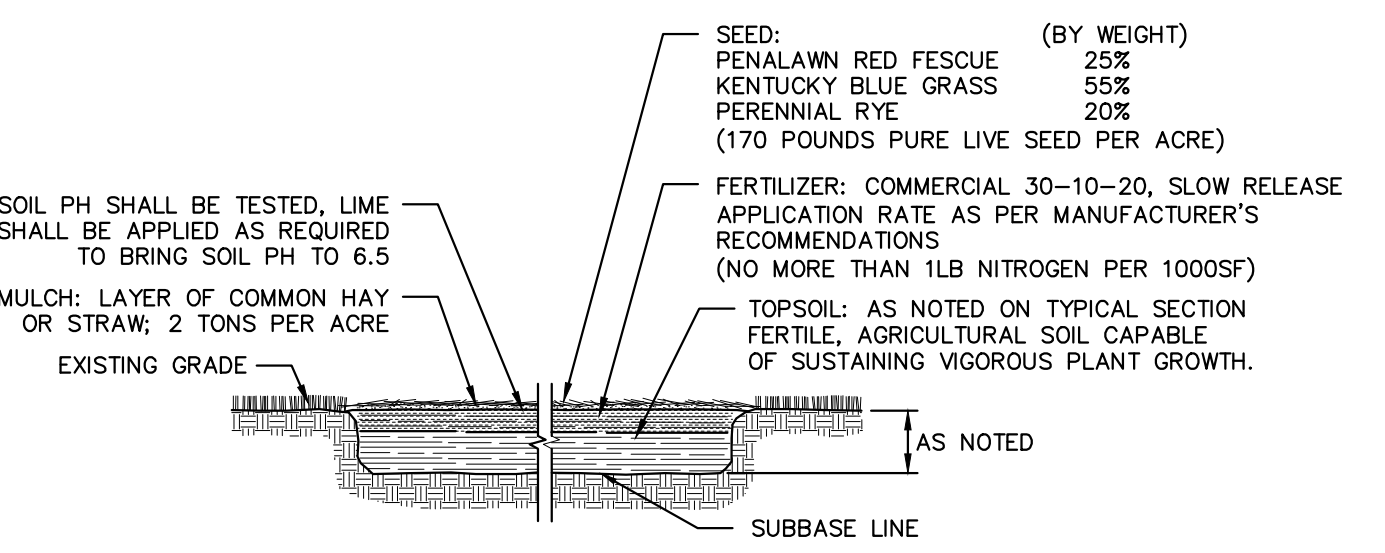
- NOTES:**
- CONFORMANCE WITH ASTM C-923.
 - CORED HOLE DIAMETER AS SPECIFIED BY PIPE BOOT MANUFACTURER.
 - CORED OPENING SHALL BE CLEAN AND OF UNIFORM DIAMETER. REPAIR AS NECESSARY PRIOR TO BOOT INSTALLATION.
 - PIPE SHALL BE CENTERED IN BOOT AND SHALL NOT REST ON THE CONNECTOR BAND.
 - PIPE TO BE CUT FLUSH TO INSIDE OF CONCRETE STRUCTURE.

SANITARY PIPE TO CONCRETE MANHOLE CONNECTION
NOT TO SCALE

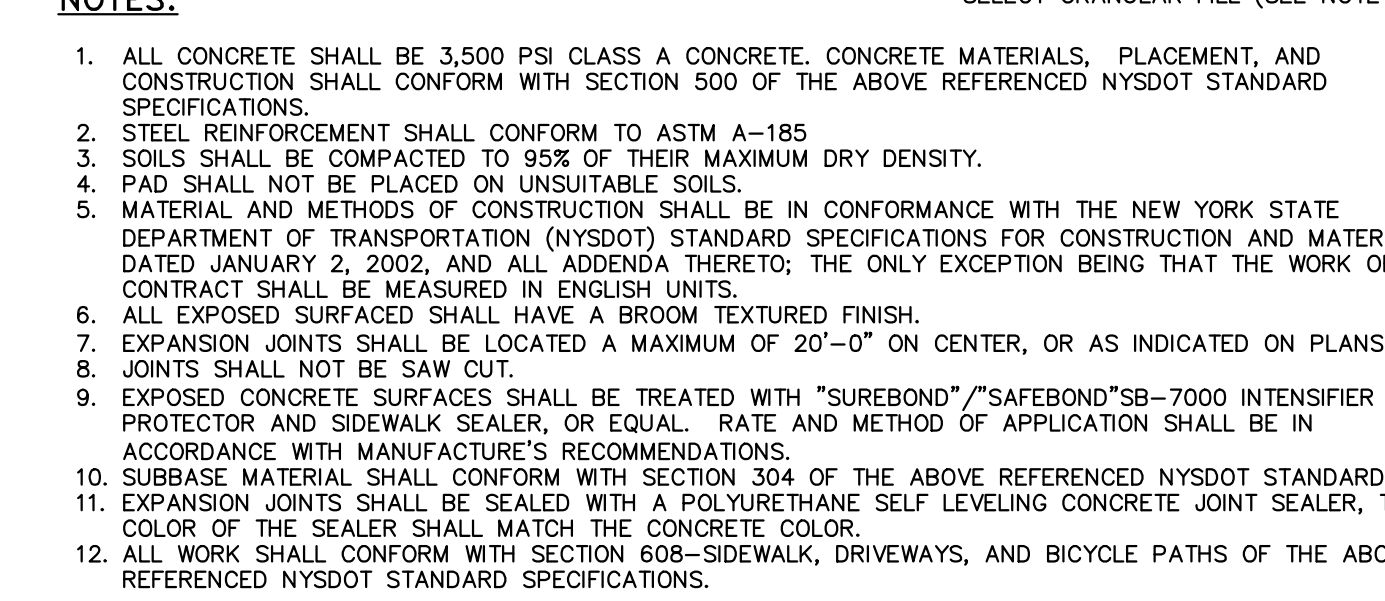


- NOTES:**
- CONFORMANCE WITH ASTM C-923.
 - CORED HOLE DIAMETER AS SPECIFIED BY PIPE BOOT MANUFACTURER.
 - CORED OPENING SHALL BE CLEAN AND OF UNIFORM DIAMETER. REPAIR AS NECESSARY PRIOR TO BOOT INSTALLATION.
 - PIPE SHALL BE CENTERED IN BOOT AND SHALL NOT REST ON THE CONNECTOR BAND.
 - PIPE TO BE CUT FLUSH TO INSIDE OF CONCRETE STRUCTURE.

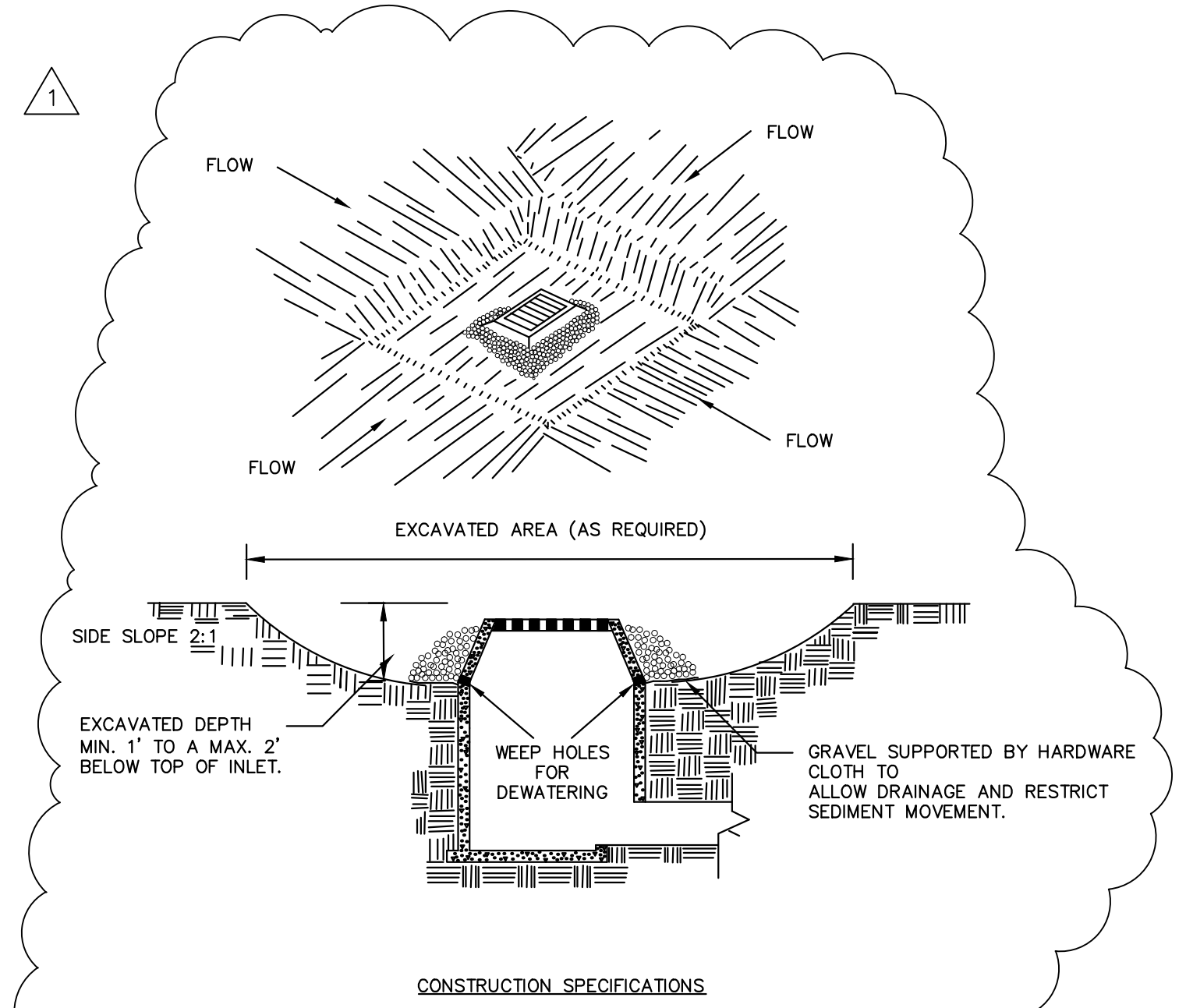
TOPSOIL SEED, FERTILIZER AND MULCH DETAIL
NOT TO SCALE



- NOTES:**
- ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
 - STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-185.
 - SOILS SHALL BE COMPACTED TO 95% OF THEIR MAXIMUM DRY DENSITY.
 - PAD SHALL NOT BE PLACED ON UNSUITABLE SOILS.
 - MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERETO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
 - ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 - EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 - JOINTS SHALL NOT BE SAW CUT.
 - EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEbond"SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYS DOT STANDARD.
 - EXPANSION JOINTS SHALL BE SEALED WITH A POLYURETHANE SELF LEVELING CONCRETE JOINT SEALER. THE COLOR OF THE SEALER SHALL MATCH THE CONCRETE COLOR.
 - ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

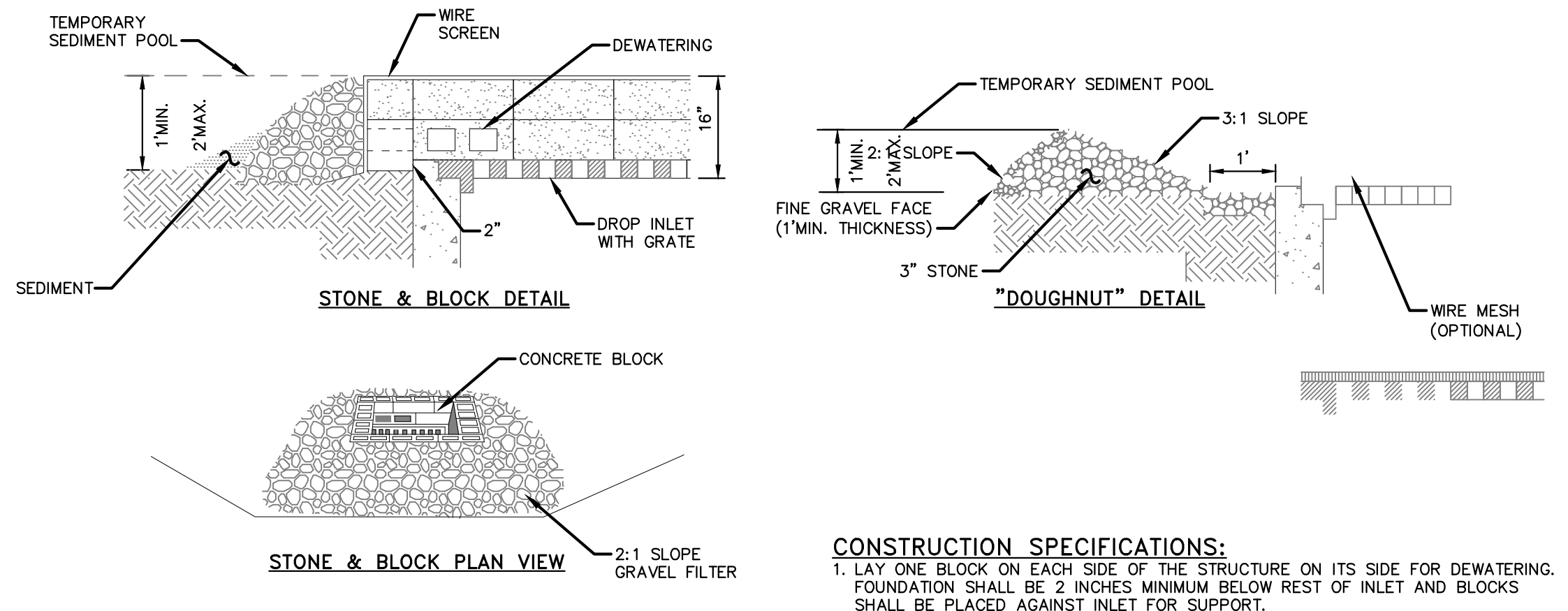


REINFORCED CONCRETE APRON
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 - GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 - WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
 - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES. FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
- MAXIMUM DRAINAGE AREA 1 ACRE

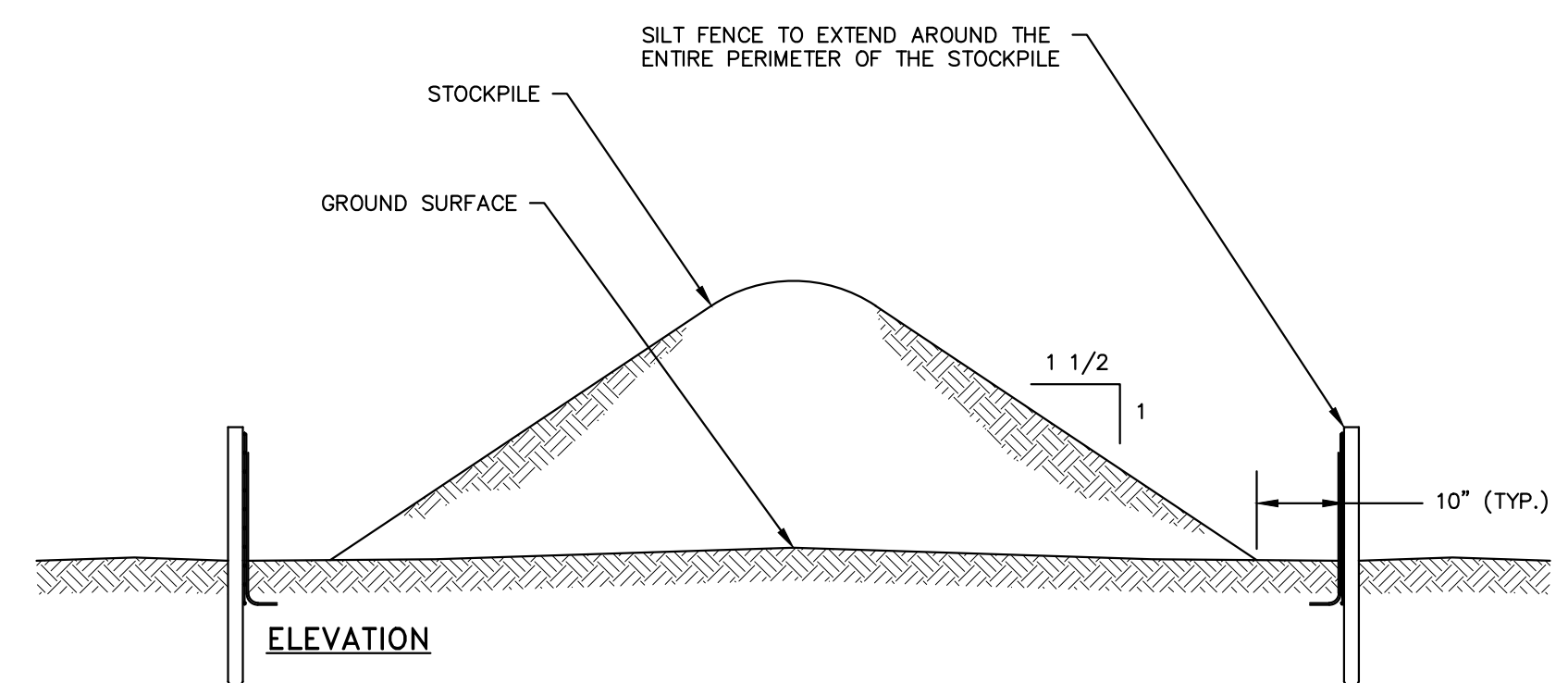
EXCAVATED DROP INLET PROTECTION
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

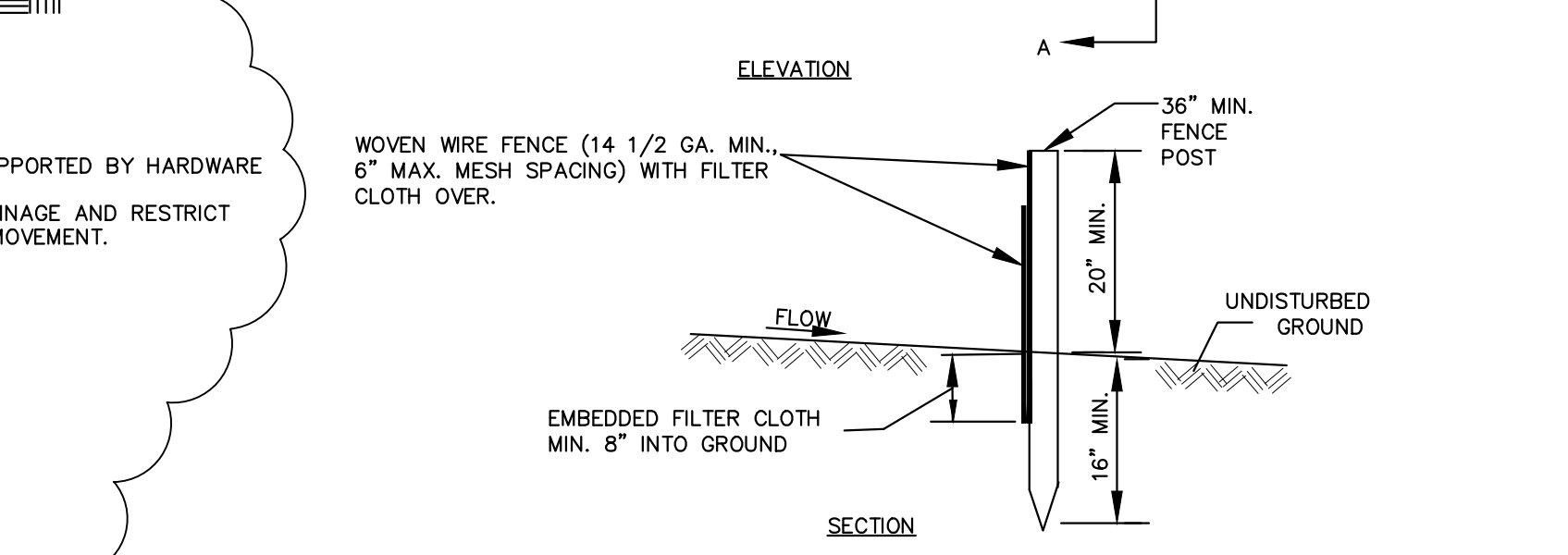
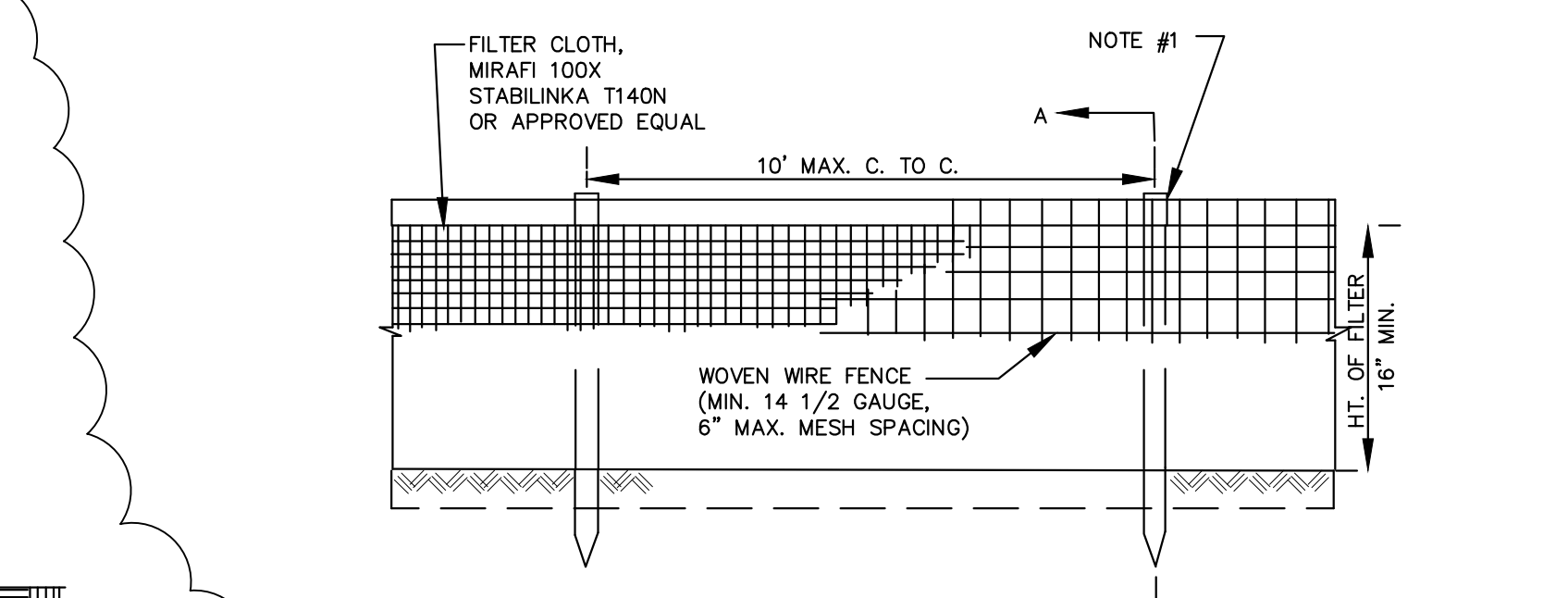


- NOTES:**
- CONFORMANCE WITH ASTM C-923.
 - CORED HOLE DIAMETER AS SPECIFIED BY PIPE BOOT MANUFACTURER.
 - CORED OPENING SHALL BE CLEAN AND OF UNIFORM DIAMETER. REPAIR AS NECESSARY PRIOR TO BOOT INSTALLATION.
 - PIPE SHALL BE CENTERED IN BOOT AND SHALL NOT REST ON THE CONNECTOR BAND.
 - PIPE TO BE CUT FLUSH TO INSIDE OF CONCRETE STRUCTURE.



- NOTES:**
- SEE SILT FENCE DETAIL.
 - INSPECTION AND MAINTENANCE PER NYSDEC REQUIREMENTS.
 - STOCKPILES REMAINING FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE MEASURES, PERMANENT VEGETATIVE MEASURES OR MULCH.

TEMPORARY SOIL STOCKPILE
NOT TO SCALE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- 3/8" MIN. STEEL POSTS, EITHER T OR U TYPE OR 2" HARDWOOD POSTS, DRIVEN MIN. 16" INTO GROUND.
 - WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" INCHES.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE 6" OVERLAPPING.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP.
 - CONTRACTOR MAY USE PREFABRICATED UNITS, AS MANUFACTURED BY GEOFAB, ENVIROFENCE.
 - FOR DOUBLE SILT FENCE (DSF) MAXIMUM SPACING BETWEEN PARALLEL ROWS SHALL BE 3'-0"
 - INSPECTION AND MAINTENANCE MUST BE PROVIDED BY CONTRACTOR AFTER EACH RAIN EVENT.

SILT FENCE
NOT TO SCALE

Rev. #	Revision Description	Date
1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
120 NORTH PEARL STREET
PORT CHESTER, NEW YORK 10573

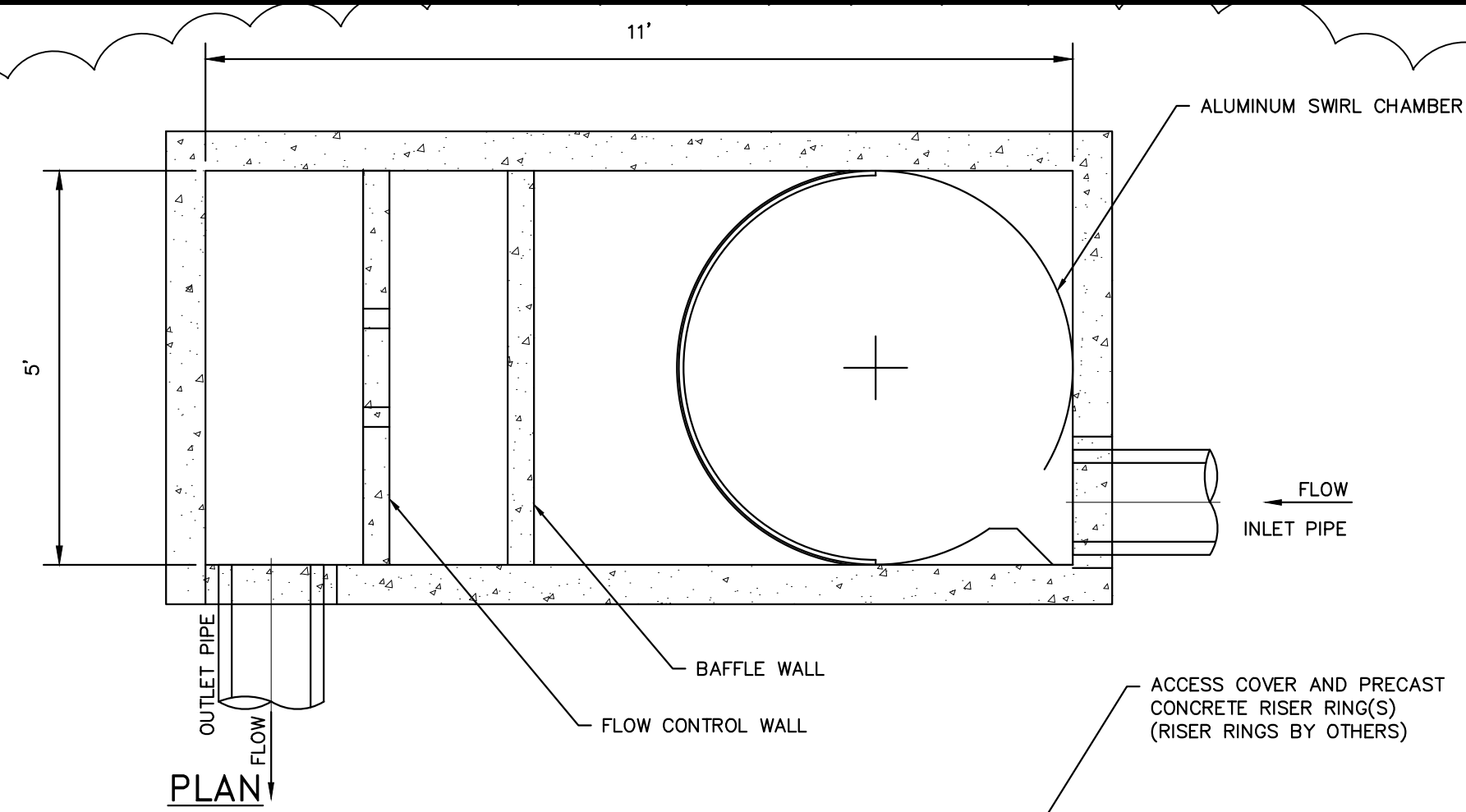
Building Owner:
AGD NORTH PEARL LLC
5 WALLER AVE
WHITE PLAINS, NY 10601

Papp Architects, P.C.
188 East Post Road
White Plains, N.Y. 10601
914 949 1851 Fax 949 5376

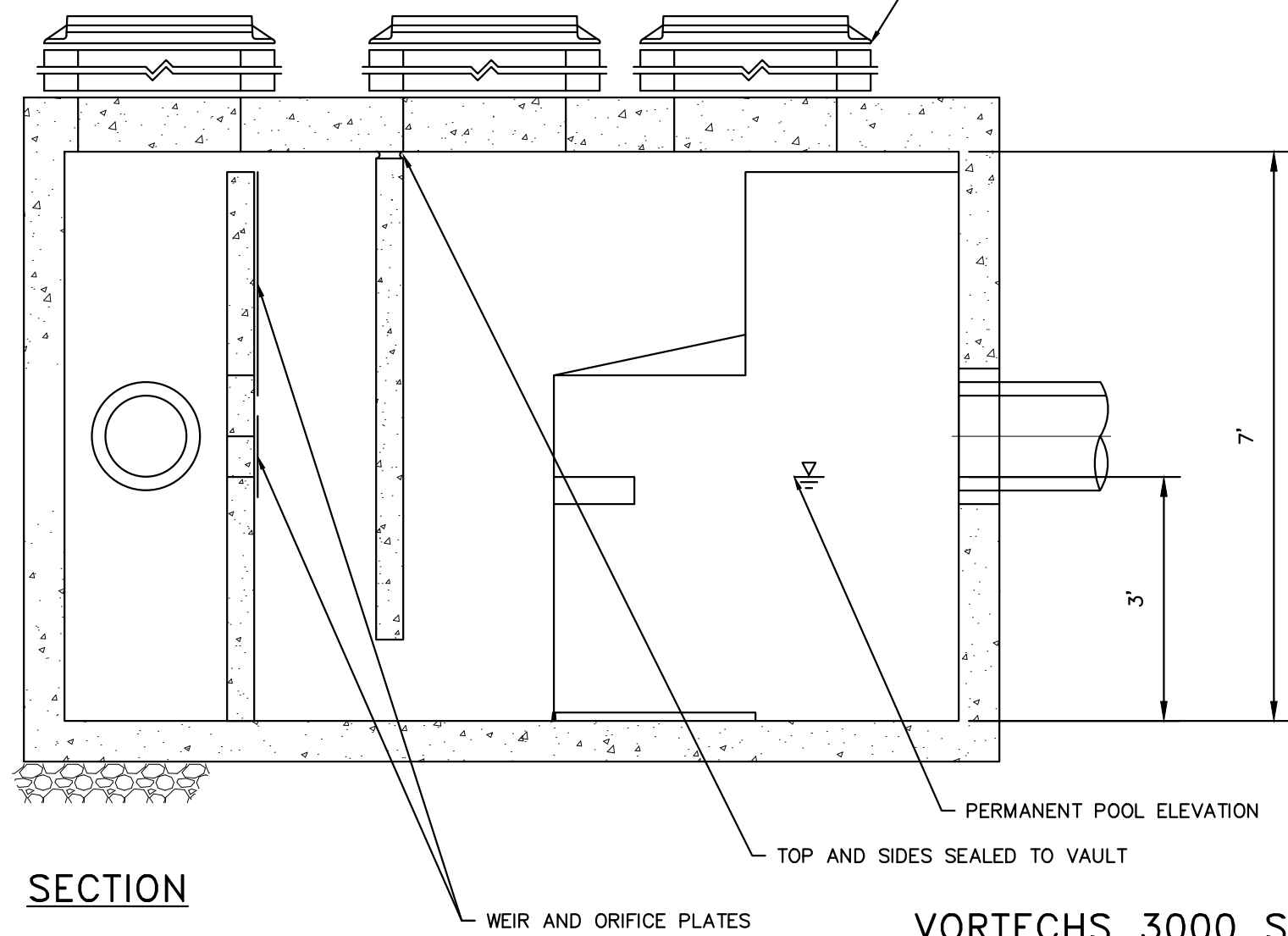
Catzone Engineering, P.C.
Civil Engineer
9 Overlook Terrace
Larchmont, NY 10538
914 269 8358

Sheet Title:
SITE DETAILS

Date:	03-03-2014
Scale:	1"=10'
Job#:	14003
Sheet Title:	SD-503
Sheet:	of



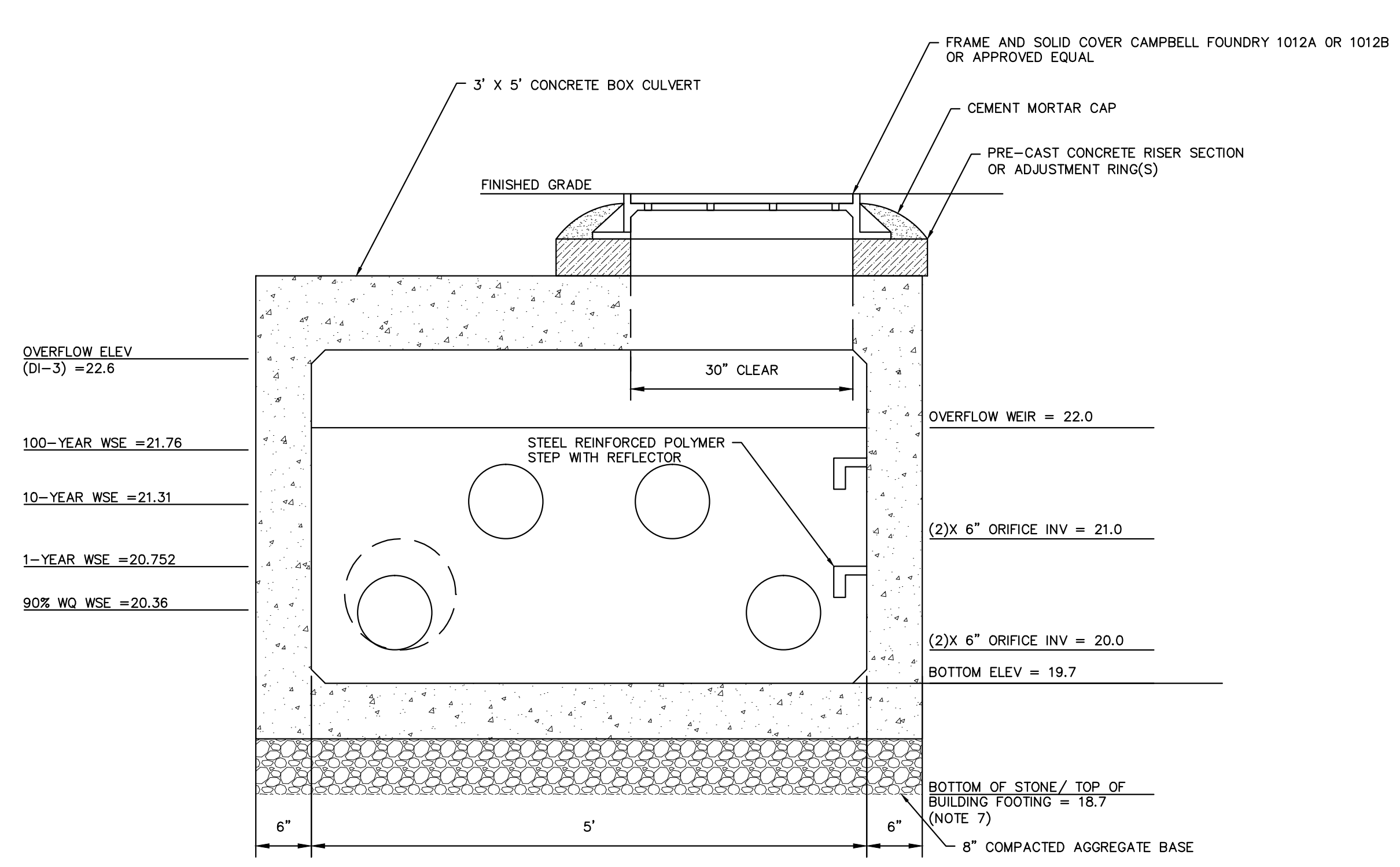
PLAN



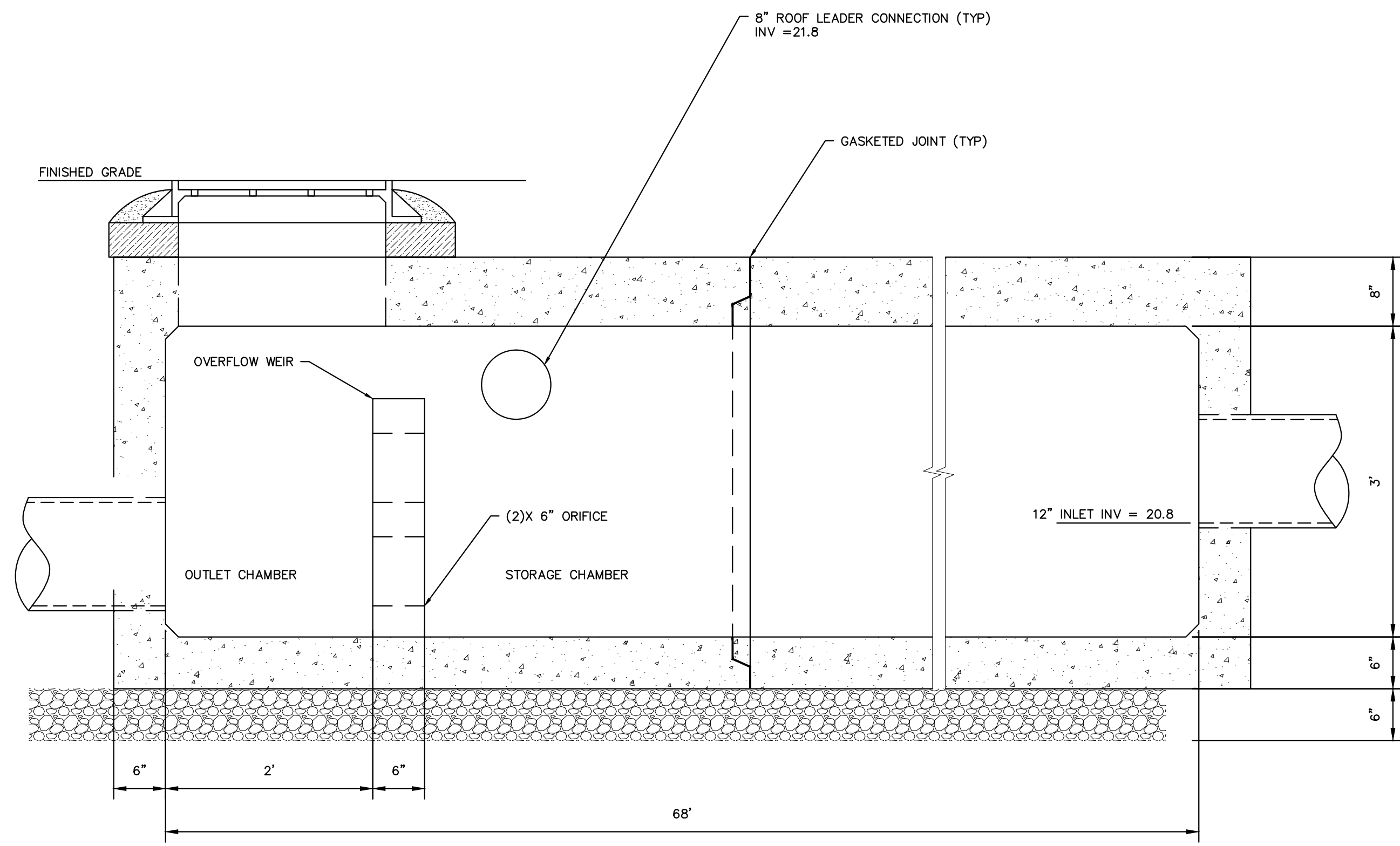
SECTION

VORTECHS 3000 STORMWATER TREATMENT DEVICE
NOT TO SCALE

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contechES.com
 - VORTECHS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - INLET PIPE(S) MUST BE PERPENDICULAR TO THE VAULT AND AT THE CORNER TO INTRODUCE THE FLOW TANGENTIALLY TO THE SWIRL CHAMBER. DUAL INLETS NOT TO HAVE OPPOSING TANGENTIAL FLOW DIRECTIONS.
 - OUTLET PIPE(S) MUST BE DOWN STREAM OF THE FLOW CONTROL BAFFLE AND MAY BE LOCATED ON THE SIDE OR END OF THE VAULT. THE FLOW CONTROL WALL MAY BE TURNED TO ACCOMMODATE OUTLET PIPE KNOCKOUTS ON THE SIDE OF THE VAULT.
 - STRUCTURE HAS BEEN SIZED TO ACCOMMODATE 100-YEAR STORM EVENT.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTECHS STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.
 - TOP OF BUILDING FOOTINGS ADJACENT TO STRUCTURE SHALL BE SET A MINIMUM OF 6" BELOW STRUCTURE.



OUTLET CHAMBER CROSS SECTION



SECTION

SUBSURFACE DETENTION SYSTEM
NOT TO SCALE

- NOTES:**
- BOX CULVERTS SHALL CONFORM TO ASTM C-1433.
 - PRECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4,000 PSI AT 28 DAYS.
 - STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-185.
 - ALL SECTIONS SHALL BE FABRICATED IN A SINGLE MONOLITHIC CONCRETE POUR.
 - BOX CULVERTS SHALL BE CERTIFIED AS MEETING 20 VEHICULAR LOADING REQUIREMENTS.
 - PIPE PENETRATIONS SHALL BE FILLED AND PARGED WITH CEMENT MORTAR FOR A SOIL TIGHT CONNECTION. ALTERNATIVELY, RUBBER BOOTS OR "LINK-SEAL" MAY BE USED.
 - TOP BUILDING FOOTING ADJACENT TO SUBSURFACE DETENTION SYSTEM TO BE SET A MINIMUM OF 6" BELOW STRUCTURE.
 - EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MULTIFAMILY DEVELOPMENT
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PORT CHESTER, NEW YORK 10573

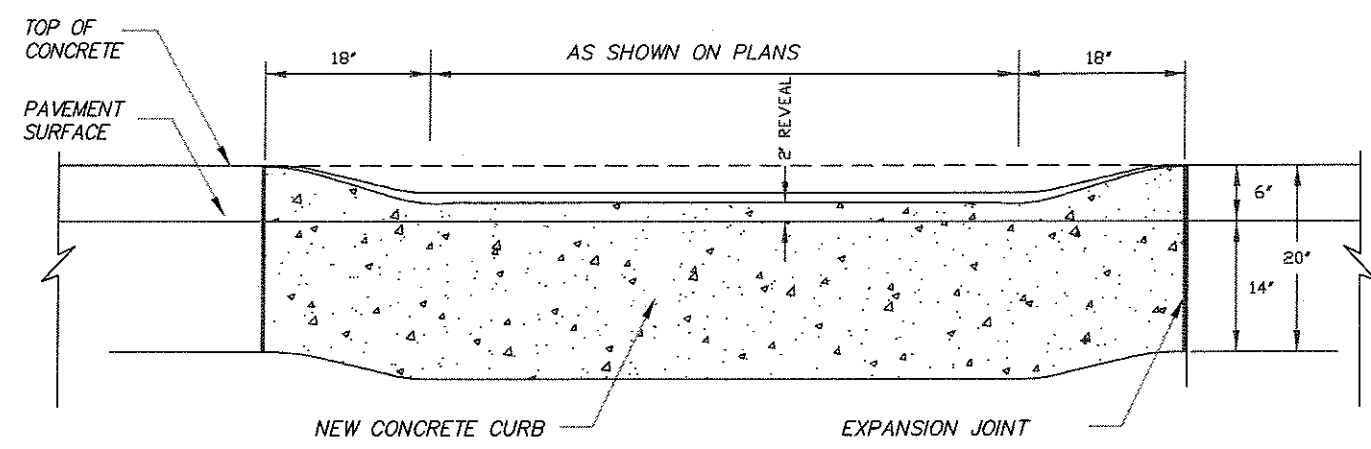
Building Owner:
AGD NORTH PEARL LLC
 5 WALLER AVE
 WHITE PLAINS, NY 10601

Papp Architects, P.C.
 188 East Post Road
 White Plains, N.Y. 10601
 914 949 1851 Fax 949 5376

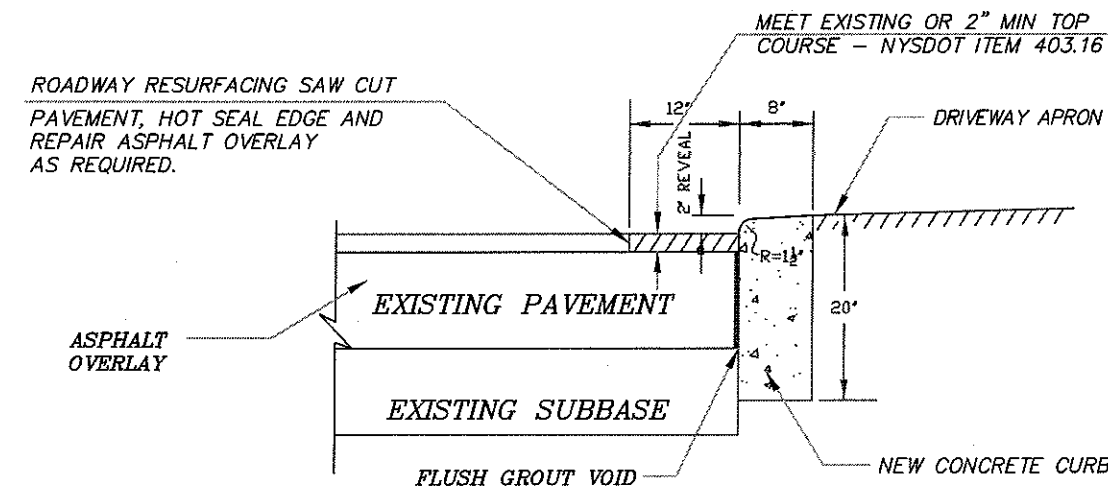
Catzone Engineering, P.C.
 Civil Engineer
 9 Overlook Terrace
 Larchmont, NY 10538
 914 269 8358

Sheet Title:
SITE DETAILS

Seal & Signature	Date:	03-03-2014
	Scale:	1"=10'
	Job#:	14003
	Sheet Title:	SD-504
	Sheet:	of



DEPRESSED CONCRETE CURB CURB ELEVATION

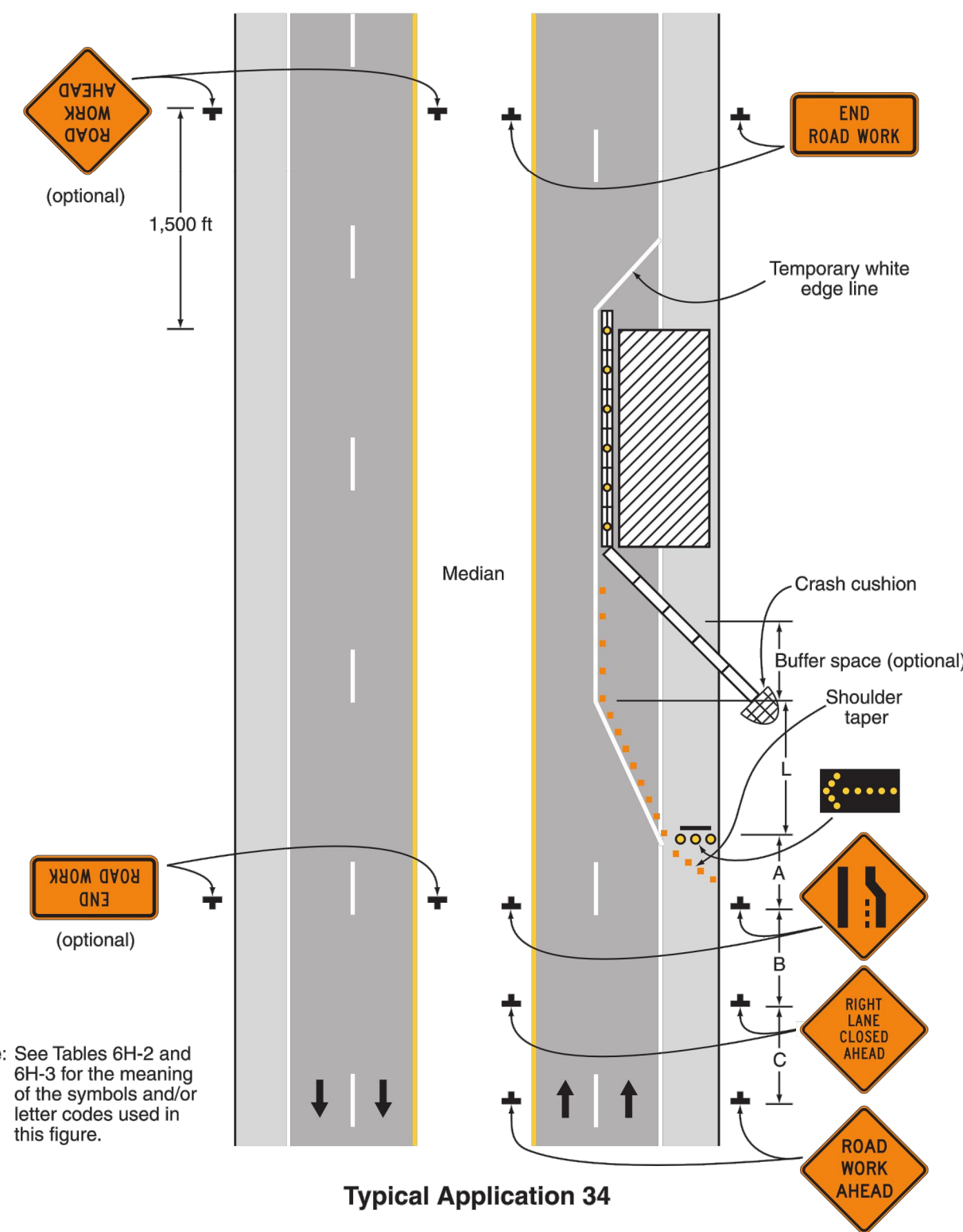


DEPRESSED CONCRETE CURB SECTION

COUNTY OF WESTCHESTER
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ROAD MAINTENANCE
WCDPW ROADWAY STANDARD DETAILS
DEPRESSED CURB DETAIL
WESTCHESTER COUNTY, NY

DATE: 10/29/08
PAGE NUMBER: x of x
SCALE: N.T.S.

Figure 6H-34. Lane Closure with a Temporary Traffic Barrier (TA-34)



Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

Typical Application 34

Table 6H-2. Meaning of Symbols on Typical Application Diagrams

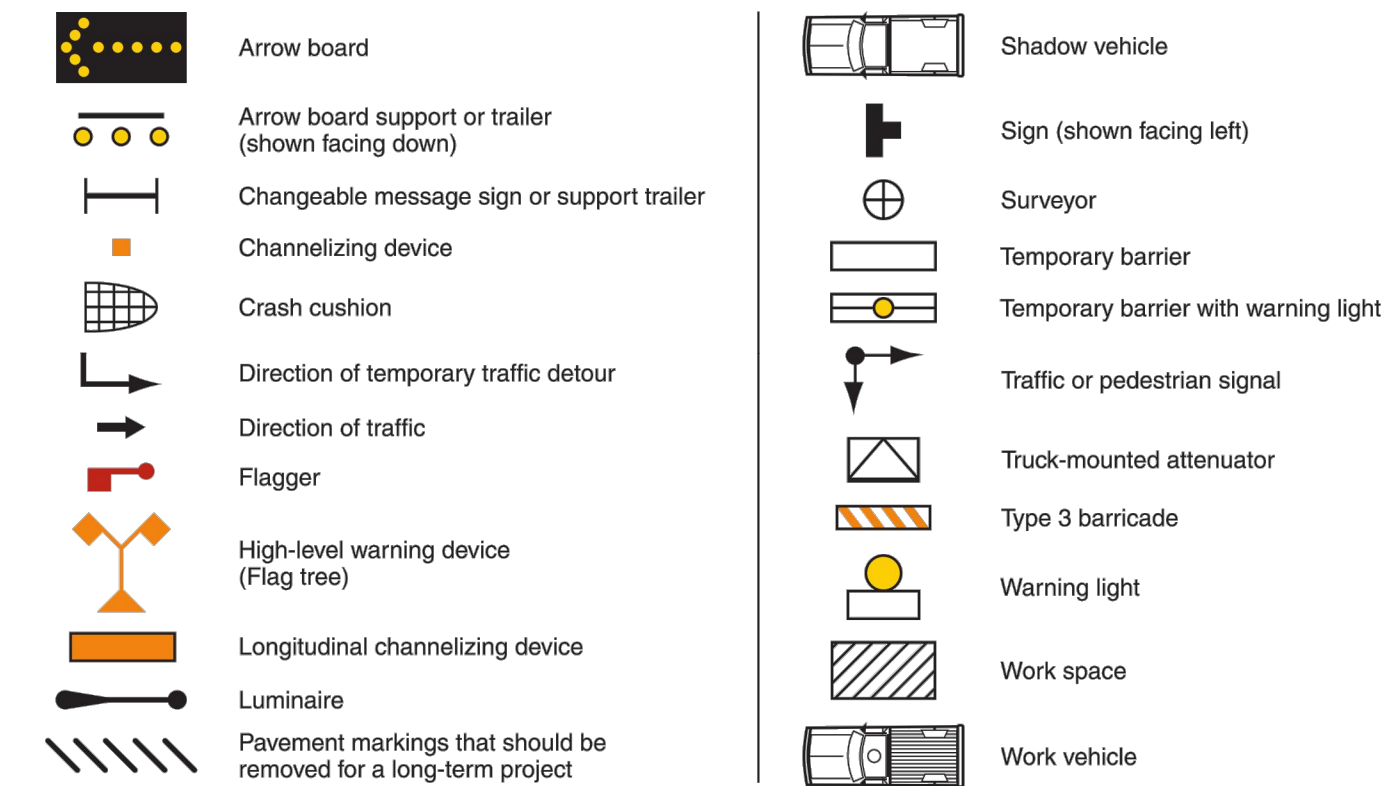


Table 6H-3. Meaning of Letter Codes on Typical Application Diagrams

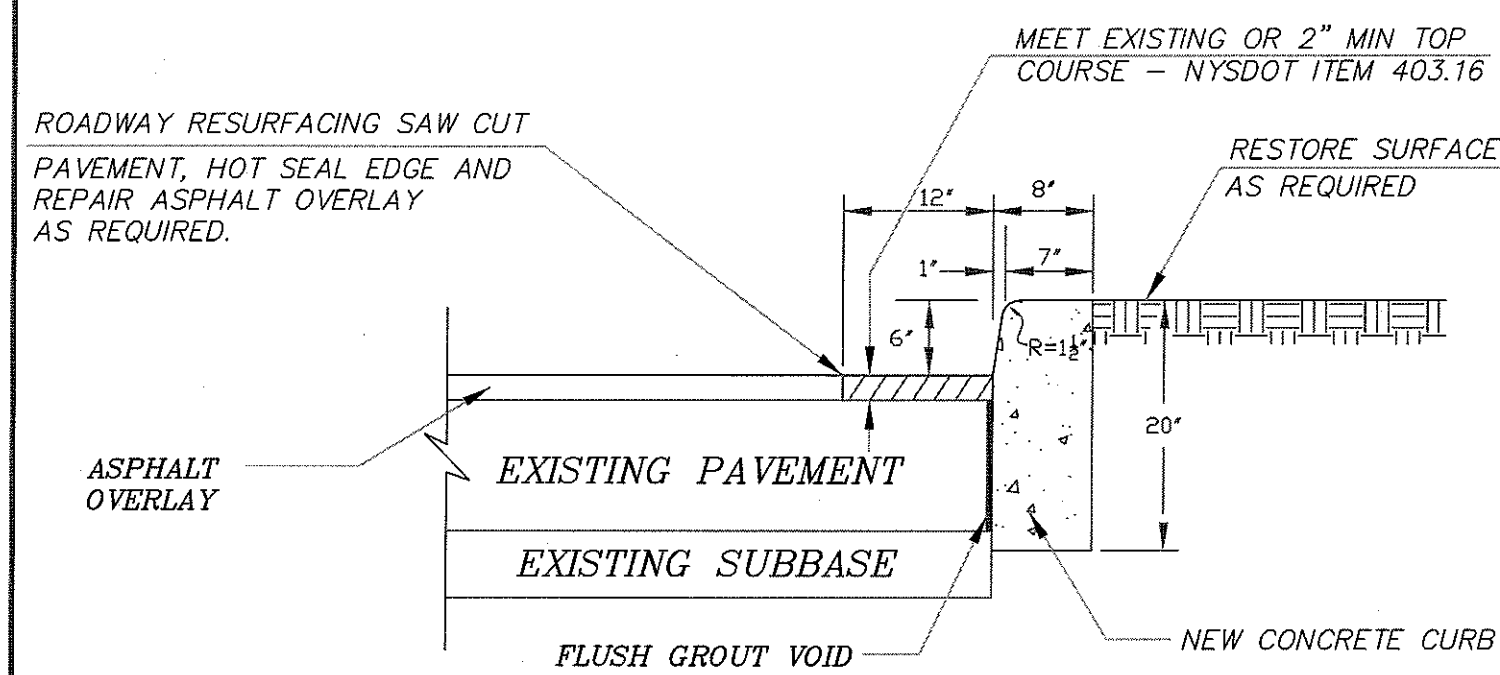
Road Type	Distance Between Signs**		
	A	B	C
Urban (low speed)*	100 feet	100 feet	100 feet
Urban (high speed)*	350 feet	350 feet	350 feet
Rural	500 feet	500 feet	500 feet
Expressway / Freeway	1,000 feet	1,500 feet	2,640 feet

* Speed category to be determined by highway agency
** The column headings A, B, and C are the dimensions shown in Figures 6H-1 through 6H-46. The A dimension is the distance from the transition or point of restriction to the first sign. The B dimension is the distance between the first and second signs. The C dimension is the distance between the second and third signs. (The "first sign" is the sign in a three-sign series that is closest to the TTC zone. The "third sign" is the sign that is furthest upstream from the TTC zone.)

Table 6H-4. Formulas for Determining Taper Length

Speed (S)	Taper Length (L) in feet
40 mph or less	$L = \frac{WS^2}{60}$
45 mph or more	$L = WS$

Where: L = taper length in feet
W = width of offset in feet
S = posted speed limit, or off-peak 85th-percentile speed prior to work starting, or the anticipated operating speed in mph



CONCRETE CURB

COUNTY OF WESTCHESTER
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ROAD MAINTENANCE
WCDPW ROADWAY STANDARD DETAILS
CONCRETE CURB DETAIL
WESTCHESTER COUNTY, NY

DATE: 10/29/08
PAGE NUMBER: x of x
SCALE: N.T.S.

1	VILLAGE ENGINEER COMMENTS 3/26/2014	5/30/2014
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Project Description: PROPOSED MULTIFAMILY DEVELOPMENT 120 NORTH PEARL STREET PORT CHESTER, NEW YORK 10573		
Building Owner: AGD NORTH PEARL LLC 5 WALLER AVE WHITE PLAINS, NY 10601		
Papp Architects, P.C. 188 East Post Road White Plains, N.Y. 10601 914 949 1851 Fax 949 5376		
Catzone Engineering, P.C. Civil Engineer 9 Overlook Terrace Larchmont, NY 10538 914 269 8358		
Sheet Title: WESTCHESTER COUNTY DPW AND MUTCD DETAILS		
Scale: 1"=10'	Date: 03-03-2014	
Job#: 14003		
Sheet Title: SD-505		
Sheet: of		

DISCUSSION



VILLAGE OF
PORT CHESTER

222 Grace Church Street, Port Chester, New York 10573

AGENDA MEMO

Planning and Development Department

Village BOT Meeting Date: 12/1/2014

Item Type: Discussion Item

Description	Yes	No	Description	Yes	No
Fiscal Impact	X		Public Hearing Required		X
Funding Source:			BID #		
Account #:			Strategic Plan Priority Area Business & Economic Development		
Agreement		X	Manager Priorities Planning & Zoning		
Strategic Plan Related	X				

Sponsor's Name: Christopher N. Gomez, Director of Planning & Development

Agenda Heading Title
(Will appear as indicated below on Agenda)

Permitting Medical Uses in the C1 District

Summary

Background: Currently medical uses are not permitted in the C1 Neighborhood Retail District. As requested, I have provided additional information and preliminary analysis regarding a potential zoning text change to permit medical in the C1 District either as-of-right or by special exception permit subject to existing special exception criteria as defined in §345-61U.

Note that even such a seemingly simple change requires a broader discussion and analysis in so much as any amendment to the zoning table to permit medical uses would also require amendment to special exception §345-61U. impacting all existing and future medical uses Village-wide beyond the C1 District.

Proposed Action

Discussion

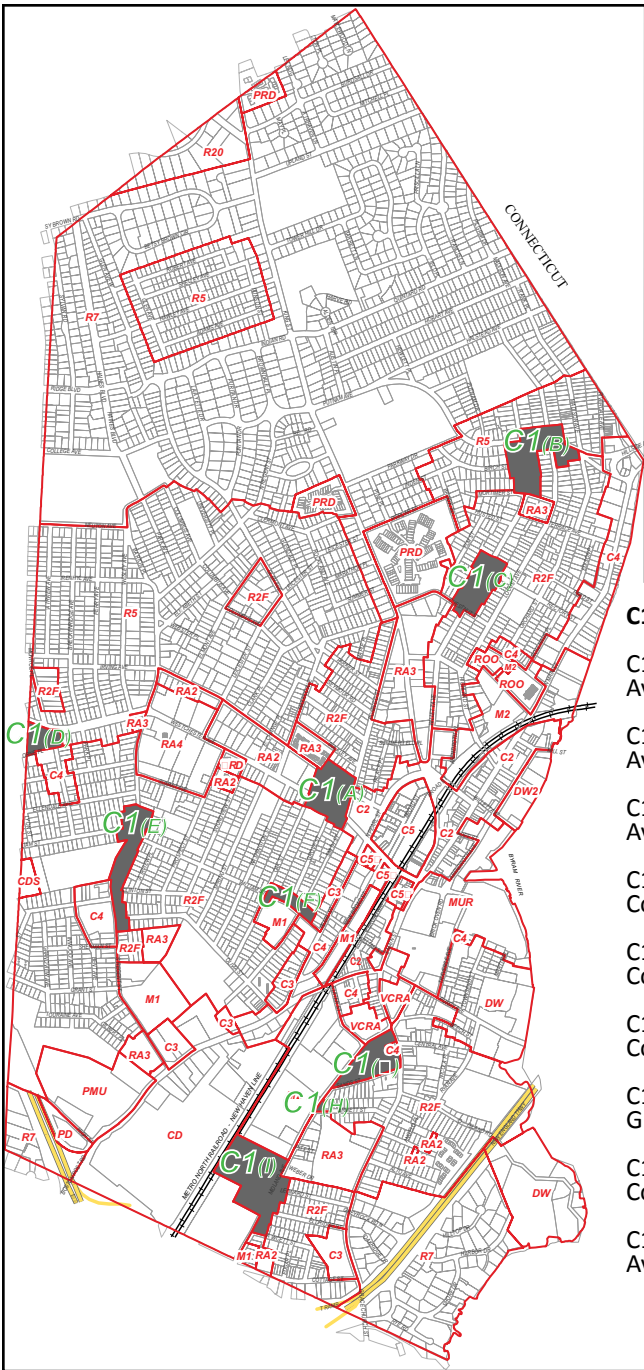
Attachments

Initial analysis of observed uses in all C1 Districts
Existing Non Residential Use Tables
§345-61U. Special Exception Criteria for Medical and Dental offices including x-ray and therapy room.

C1 Districts - Village Overview

Residential

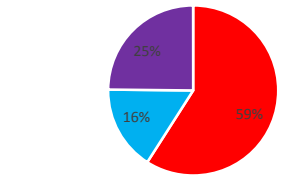
- Body-shop
- Offices
- Bakery
- Mechanic
- Post-office
- Contractor-shop
- Vacant
- Grocery
- Garage
- Gas
- Restaurant
- Convent
- Deli
- Photo-studio
- Liquor-Store
- Bank
- Dentist
- Auto-supply
- Pharmacy
- Day-care
- Florist
- Bar
- Café
- Gas-Station
- Catering
- Print-shop
- station
- Pawnshop
- Office
- Gym
- Salon
- Barber
- Retail
- Laundry
- Bodega
- Funeral-Home
- Yoga-Studio
- Art-Gallery
- Glass-Repair-Shop
- Insurance



C1 Districts

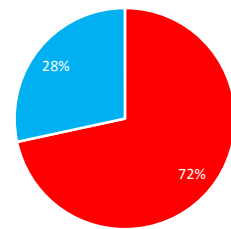
- C1(A) Westchester Avenue Corridor
- C1(B) Northern Willett Avenue Corridor
- C1(C) Southern Willett Avenue Corridor
- C1(D) Bowman Avenue Corner
- C1(E) South Regent Street Corridor
- C1(F) William Street Corridor
- C1(G) Midland, Sand, Grace Church Street Block
- C1(H) Armett Street Corner
- C1(I) Southern Midland Avenue Shopping Center

Observed Uses for All C1 Districts



- Prohibited/ Legally Non-Conforming(%)
- Permitted
- Combination - Permitted and Non-Permitted Uses (%)

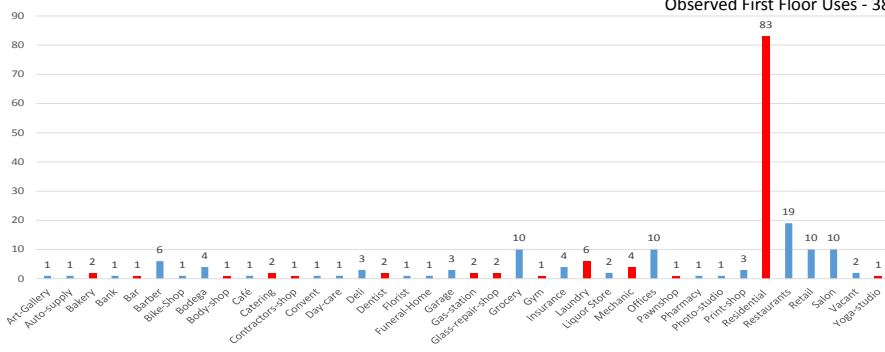
Residential Uses in All C1 Districts



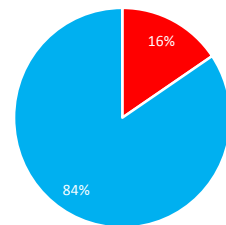
- Parcels with some Residential (%)
- Parcels with no Residential (%)

Observed First Floor Uses in C1 Districts

Tax Parcels in C1 Districts - 150
Observed First Floor Uses - 38



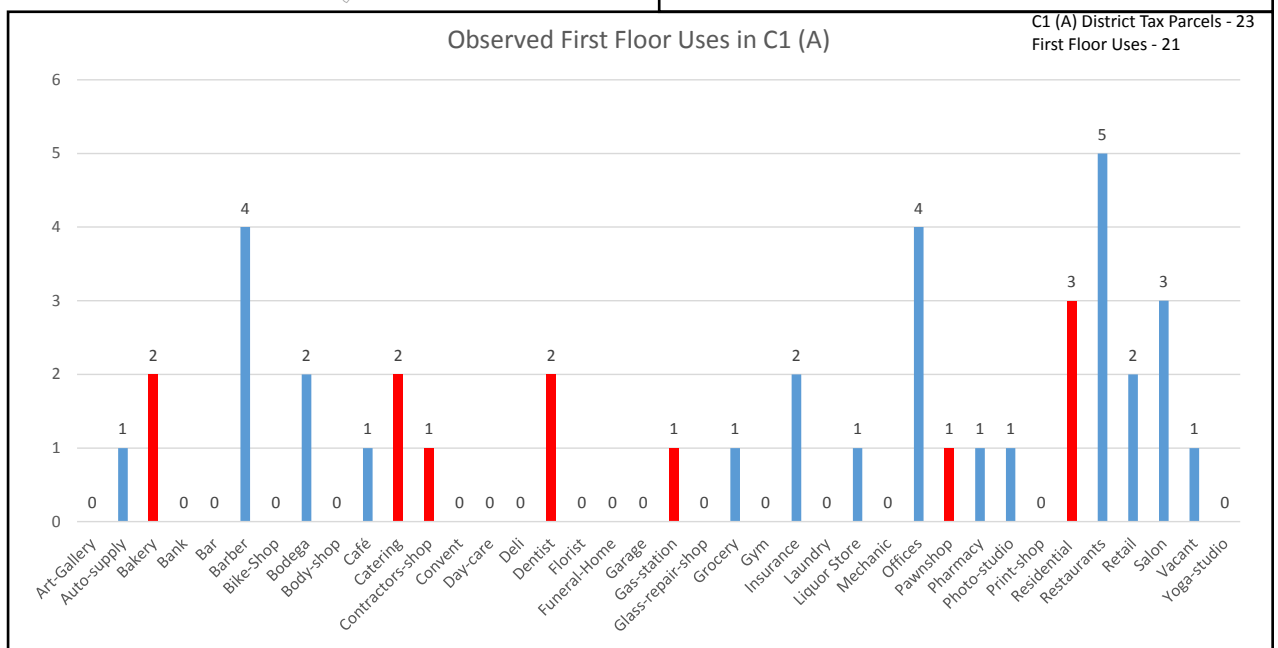
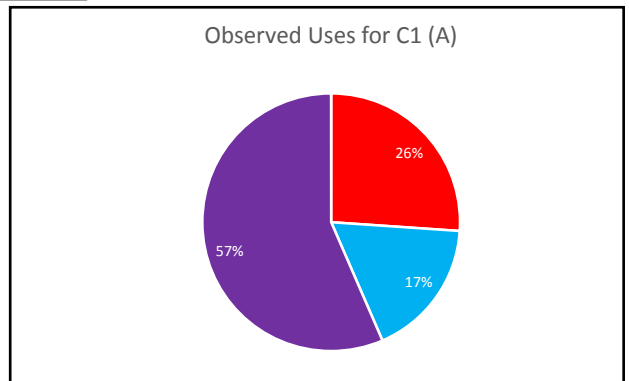
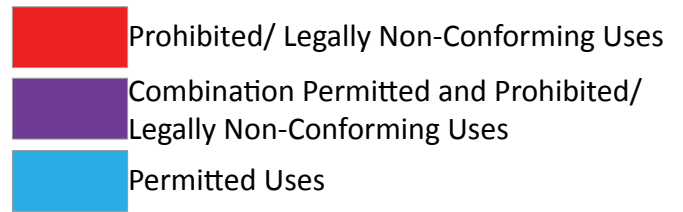
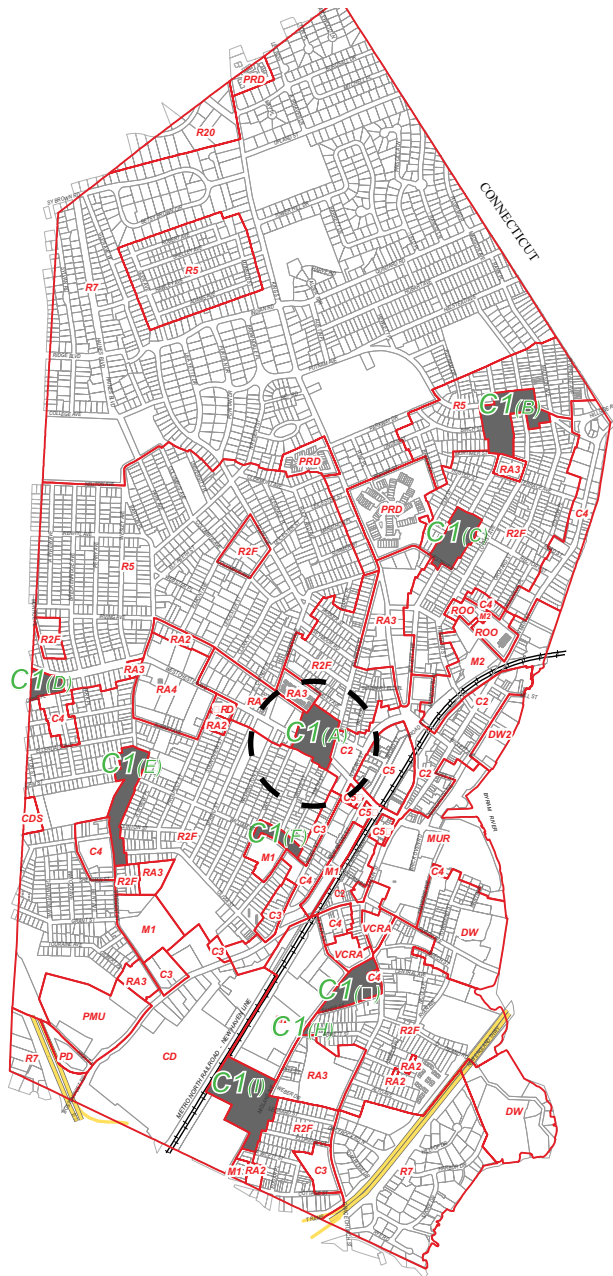
F.A.R. in All C1 Districts



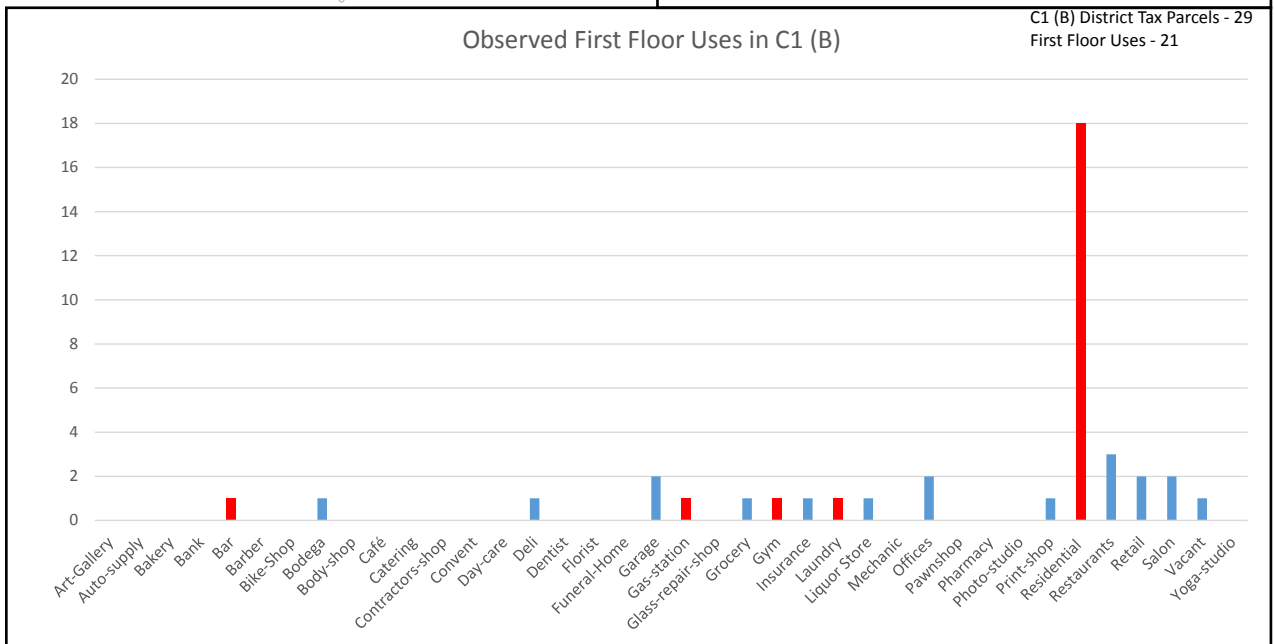
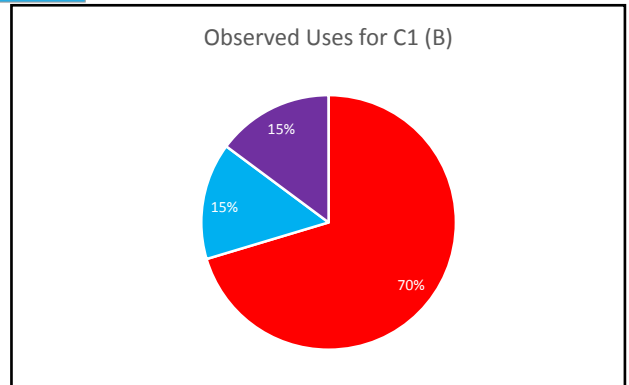
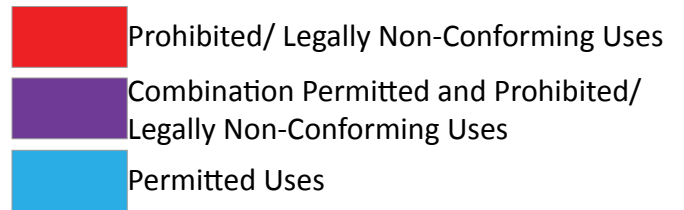
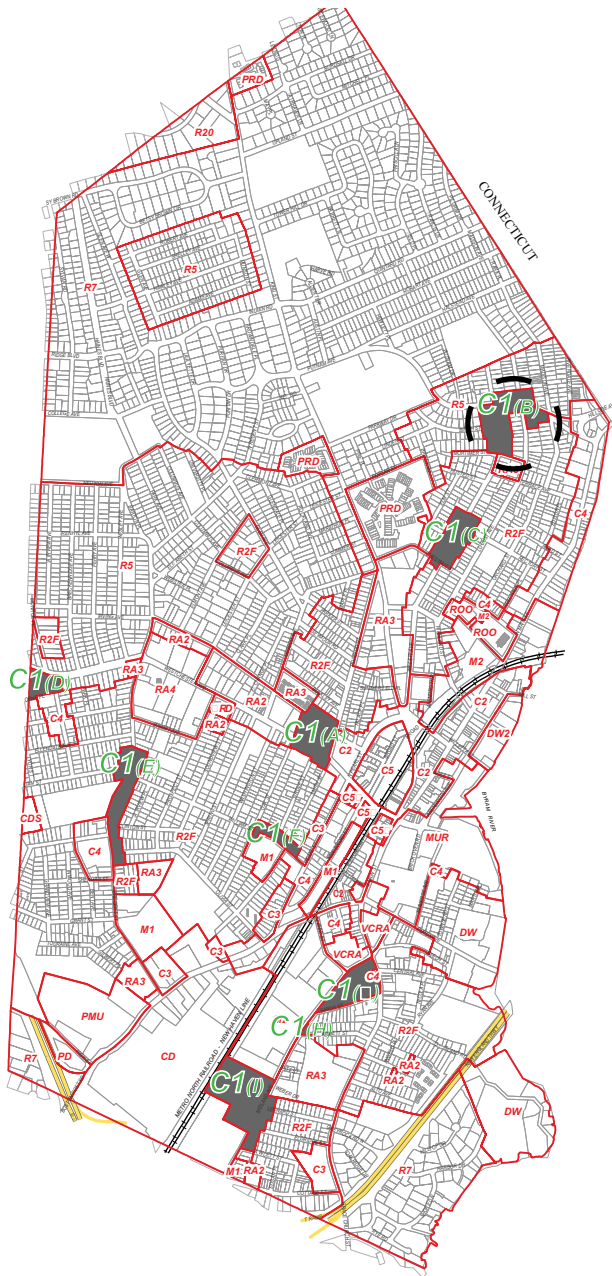
- Exceed C1 FAR (%)
- Fall below C1 FAR (%)

Permitted F.A.R. in C1 - 1.0

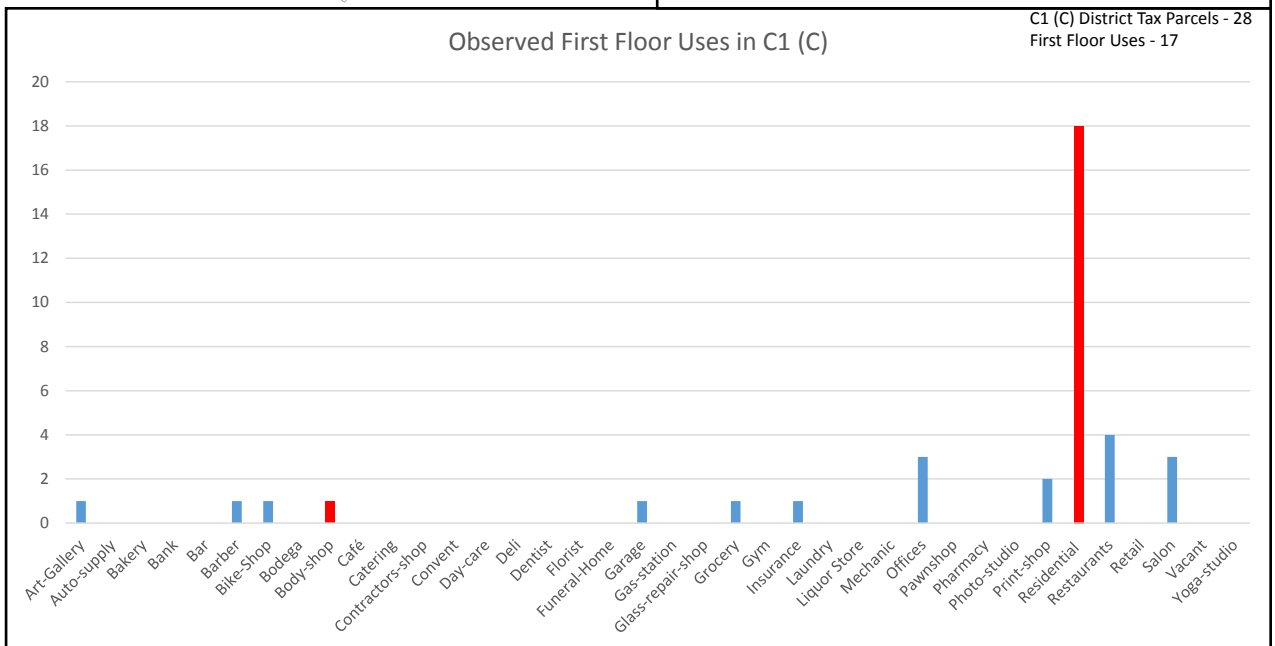
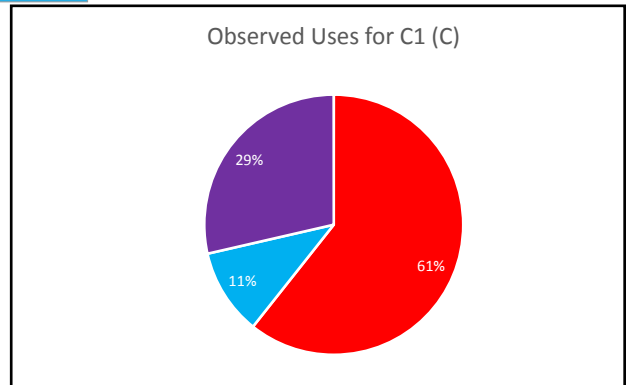
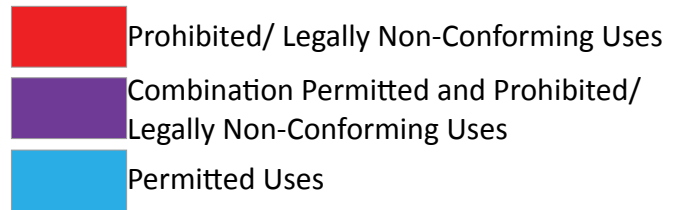
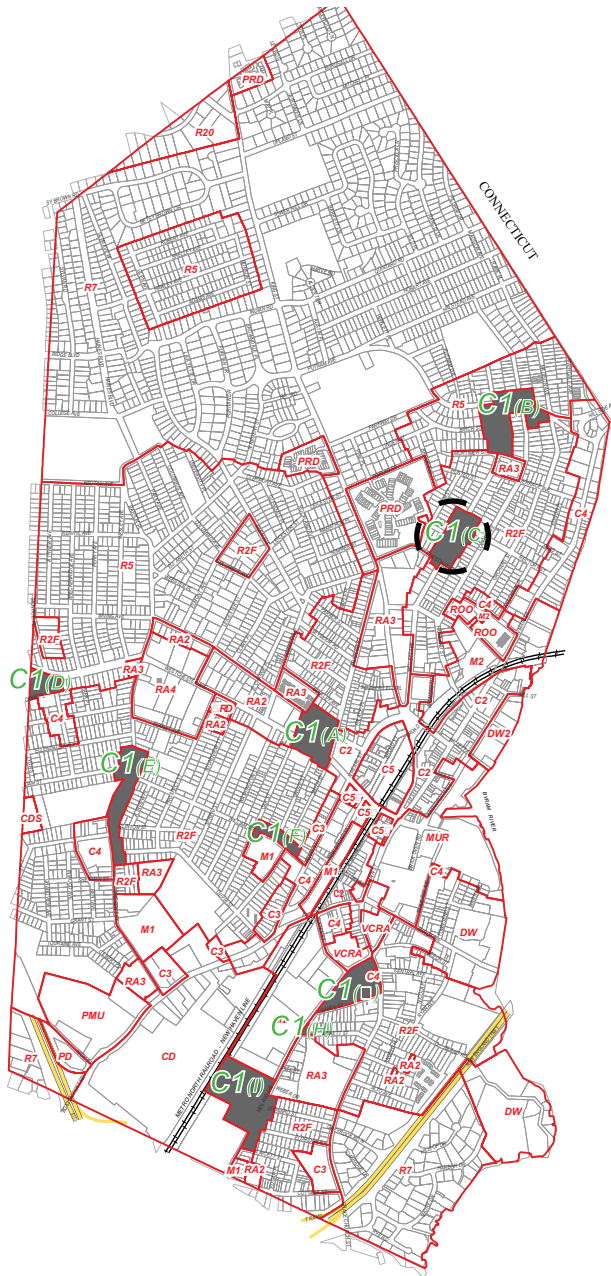
C1 District (A) Westchester Avenue Corridor



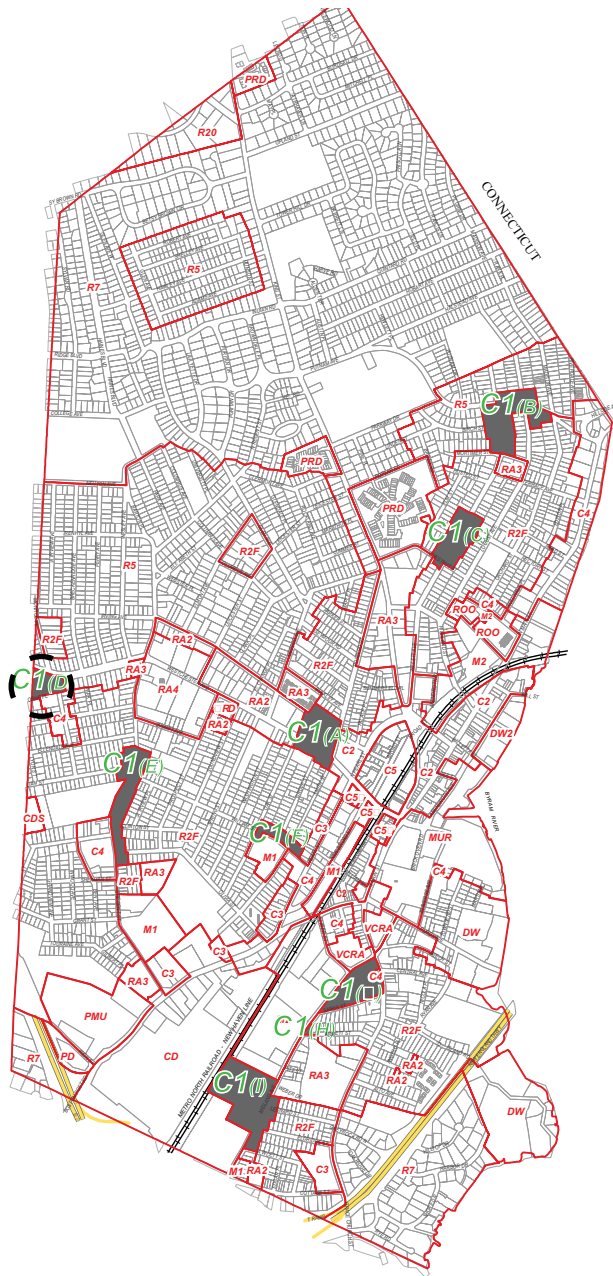
C1 District (B) Northern Willett Avenue Corridor



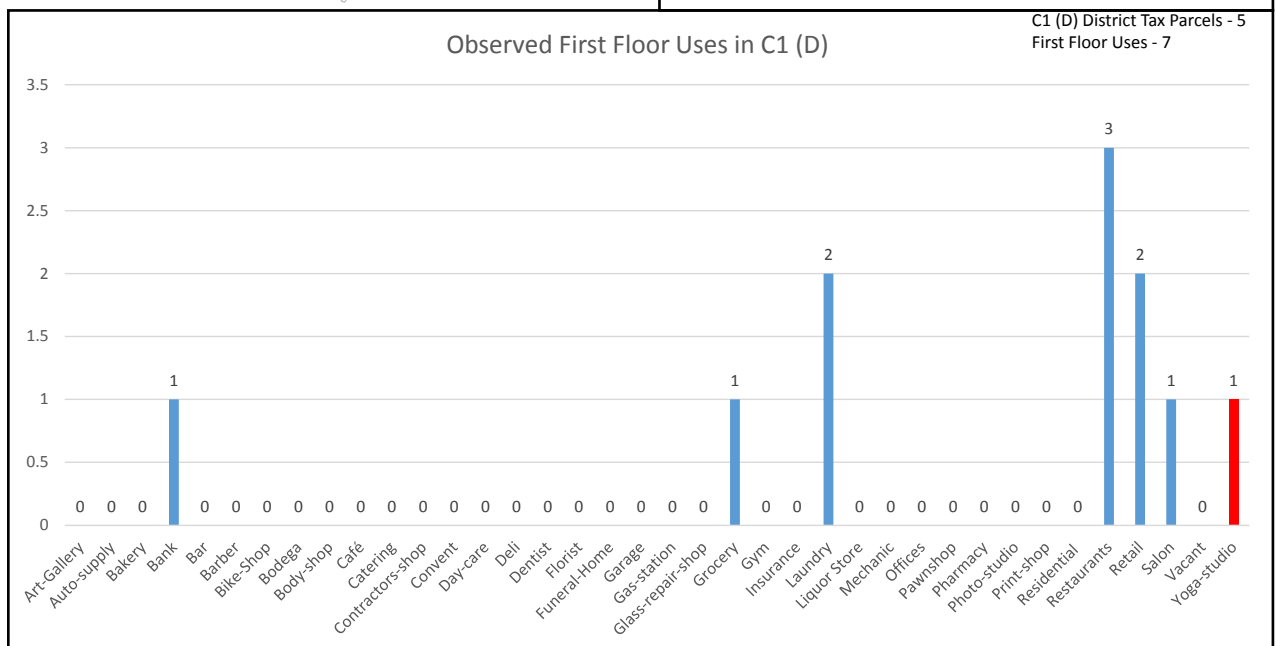
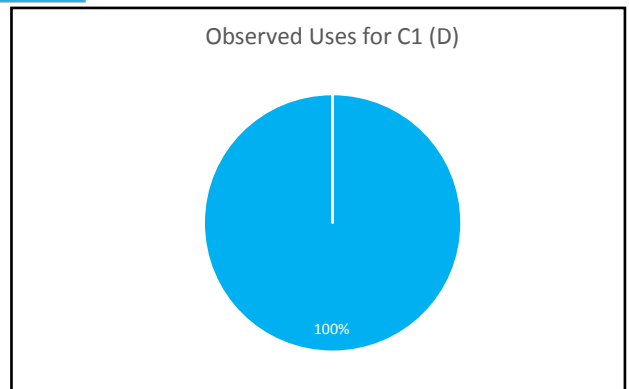
C1 District (C) Southern Willett Avenue Corridor



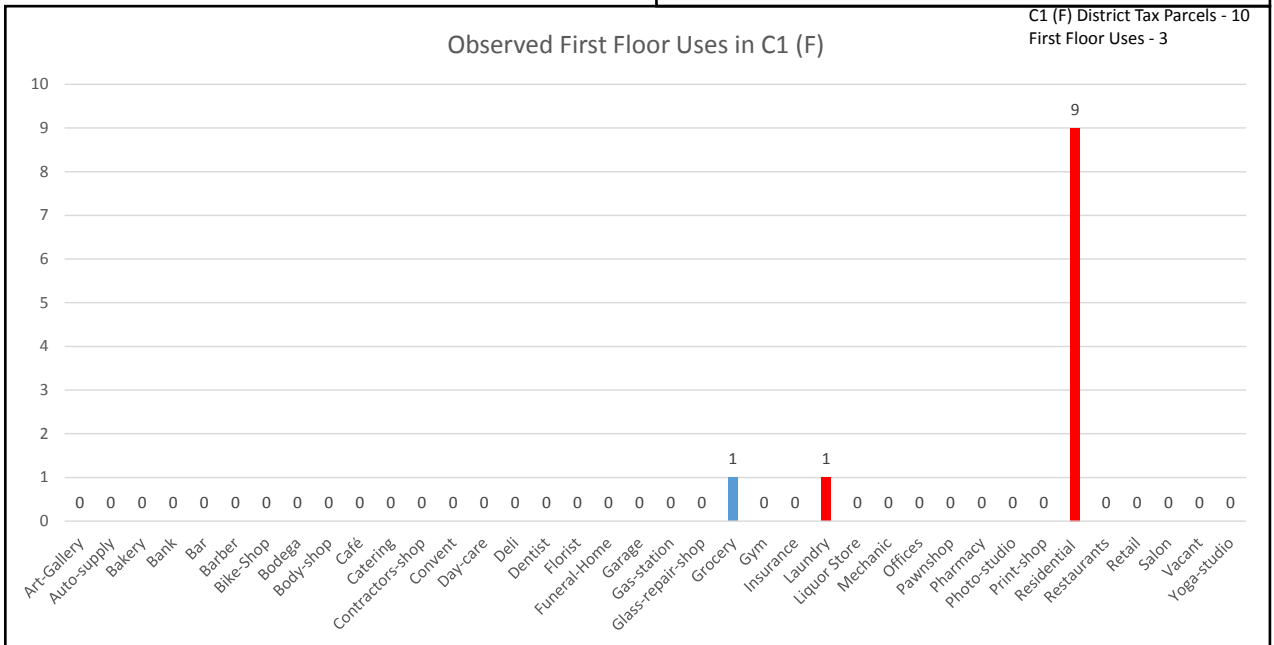
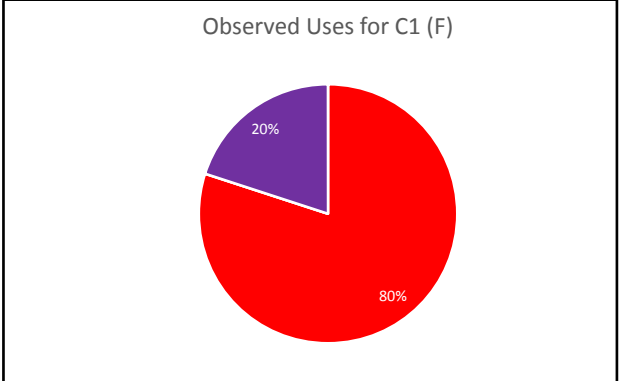
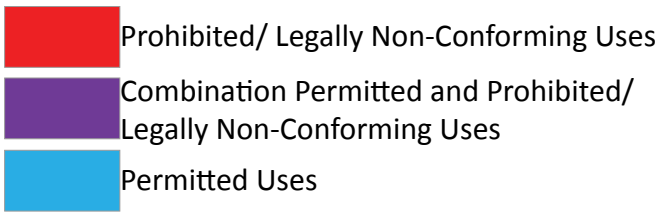
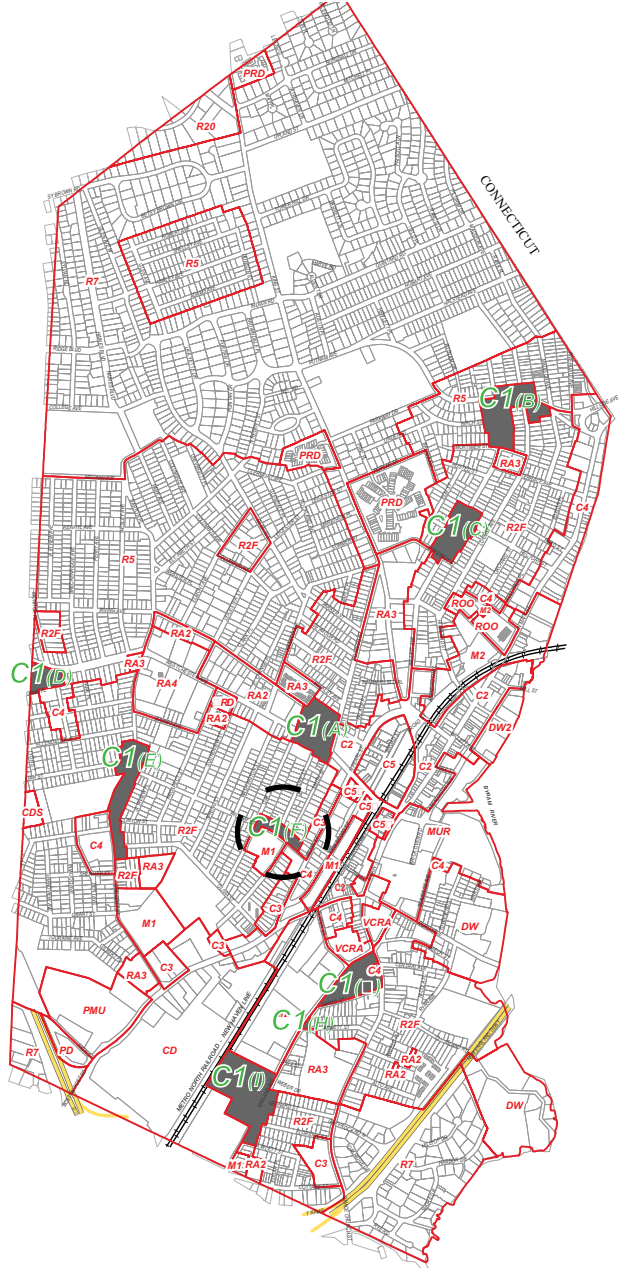
C1 District (D) Bowman Avenue Corridor



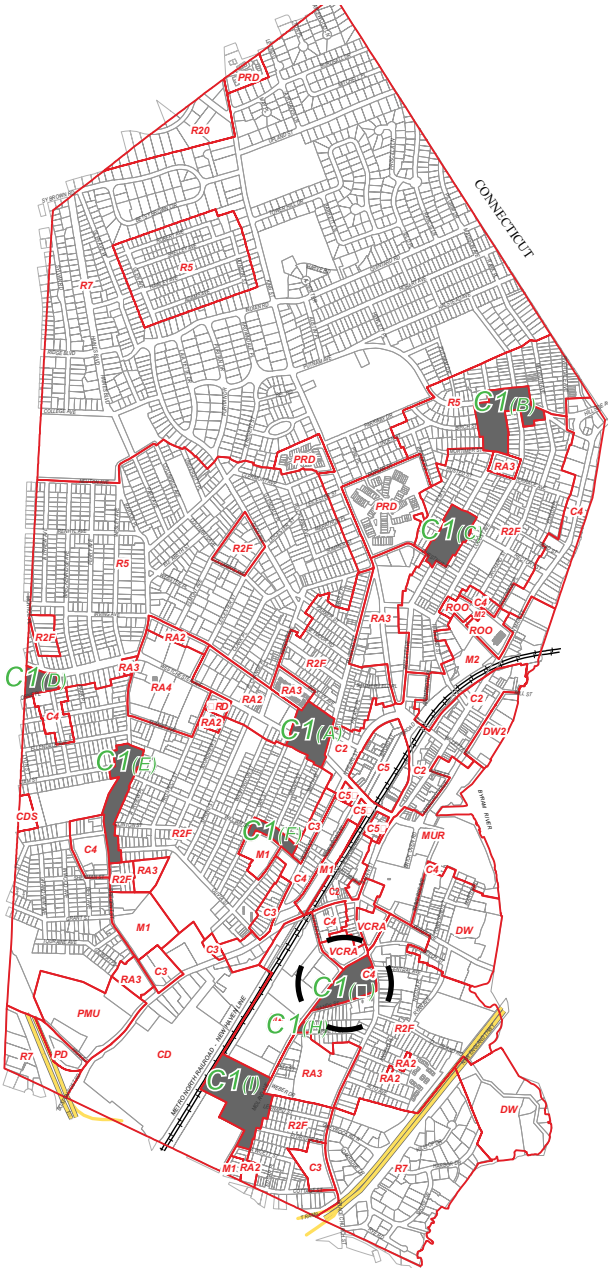
- Prohibited/ Legally Non-Conforming Uses
- Combination Permitted and Prohibited/ Legally Non-Conforming Uses
- Permitted Uses



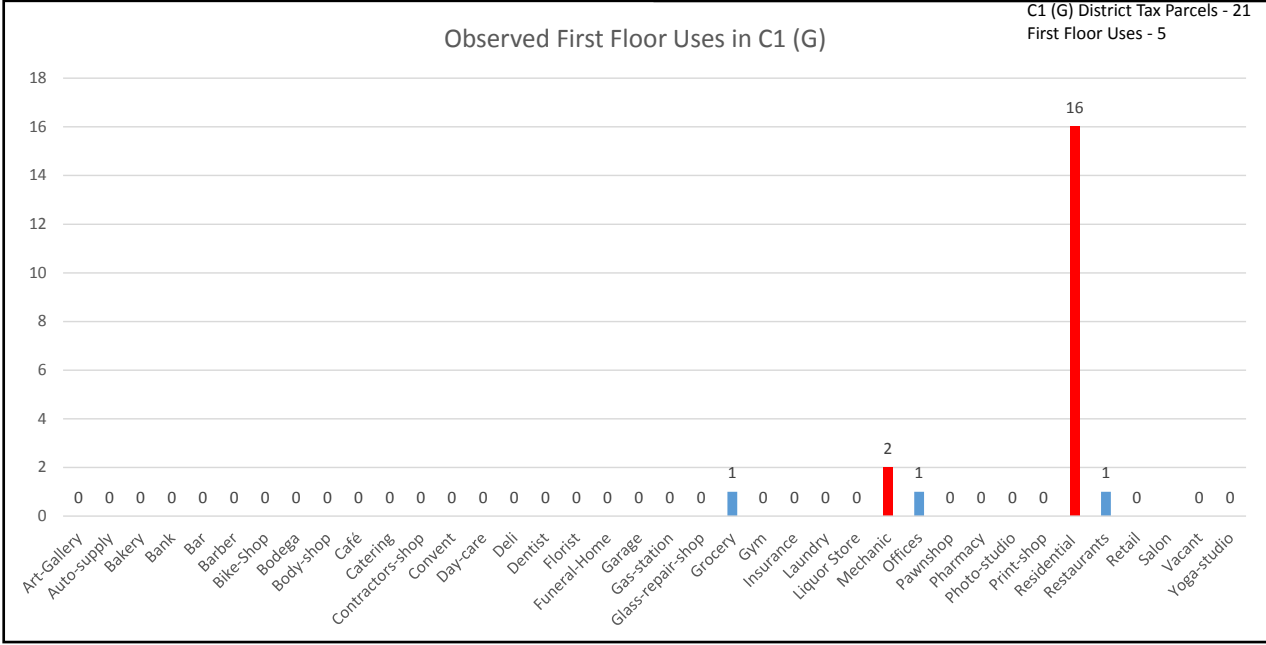
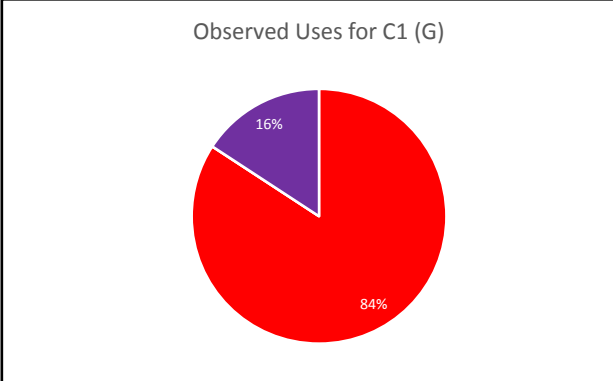
C1 District (F) William Street Corridor



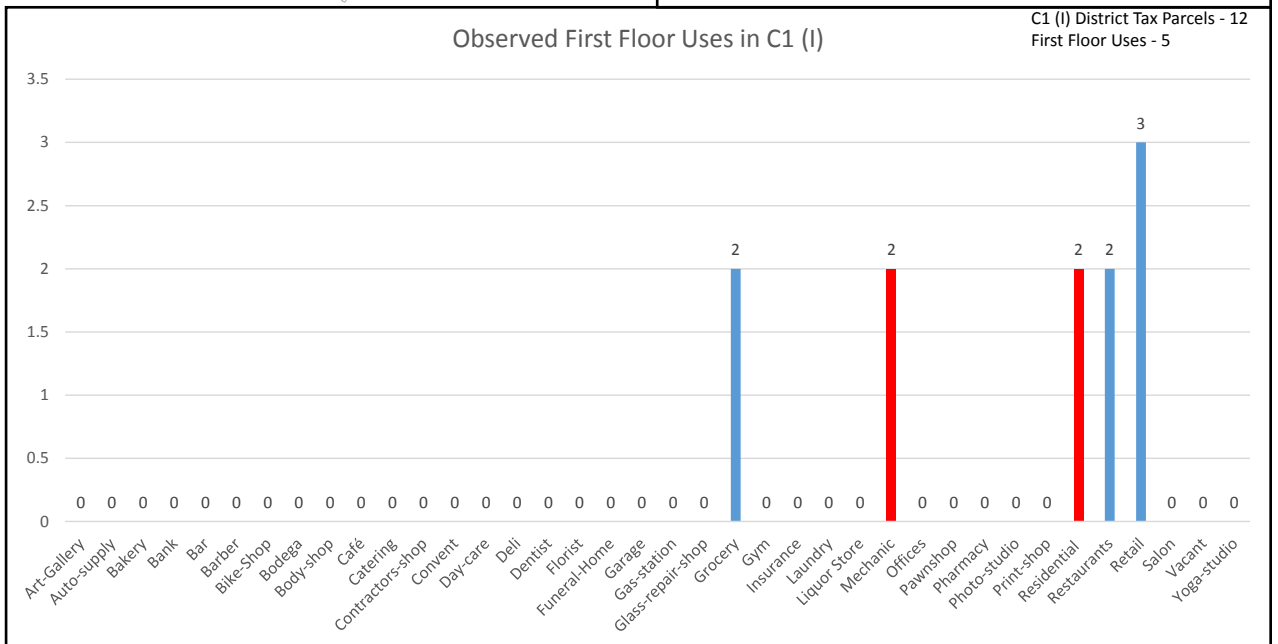
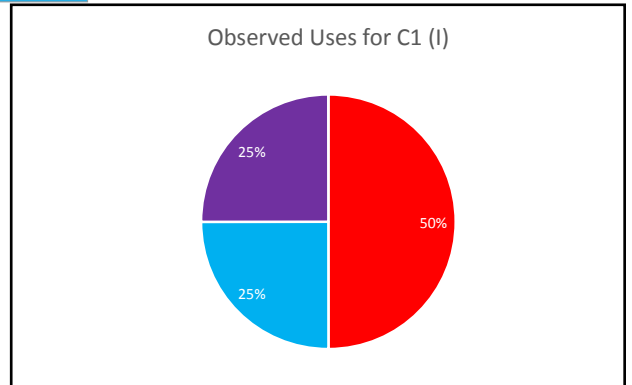
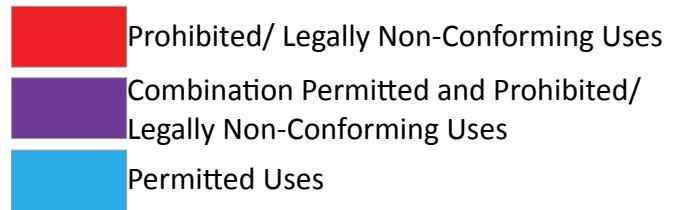
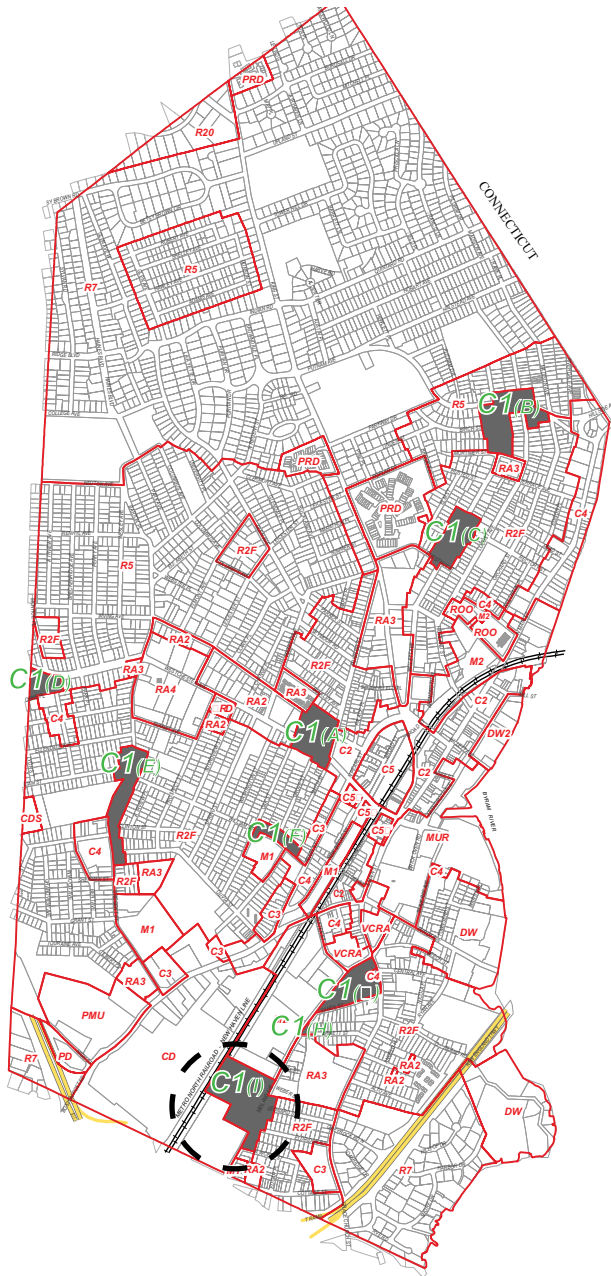
C1 District (G) Midland, Sand, Grace Church Street Block



- Prohibited/ Legally Non-Conforming Uses
- Combination Permitted and Prohibited/ Legally Non-Conforming Uses
- Permitted Uses



C1 District (I) Midland Avenue Corridor



Village of Port Chester Zoning Code

§345-61U. Special Exception Use Criteria

Medical and dental offices including x-ray and therapy room.

[Added 2-1-1995 by L.L. No. 1-1995; amended 11-3-2003 by L.L. No. 9-2003]

(1)

The use shall not be permitted on a lot having an area of less than 12,500 square feet.

(2)

The site must be located within 500 feet of an M-1 Zone.

(3)

The site must be located no more than .6 mile from a hospital.

(4)

Adequate emergency access shall be assured through access to a major thoroughfare.

(5)

A site plan is to be provided for approval by the Planning Commission, showing compliance with the above conditions and the site plan regulations.

ZONING

345 Attachment 3A

Village of Port Chester
Schedule of Regulations for Nonresidence Districts
Part 1, Use Regulations

Type of Use	Districts													
	C1 Neighborhood Retail §345-47	C2 Main Street Business §345-48	C3 Office and Commercial §345-49	C4 General Commercial §345-50	C5 Train Station Mixed Use §345-50.1	C5T Downtown Mixed Use Transitional §345-50.2	CD Design Shopping Center §345-51	CDS Special Designed Commercial §345-52	PD Design Professional Building §345-53	DW Design Waterfront §345-54	DW2 Downtown Design Waterfront §345-54.1	M1 Light Industrial §345-55	M2 General Industrial §345-56	PMU Planned Mixed Use §345-57
Residential Uses														
1 Family Dwelling	X	X	X	X	X	X	X	X	X	X	X	X	X	X
2 Family Dwelling	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Multifamily Dwelling	X	SE	X	X	SE	SE	X	X	X	SE	SE	X	X	P
Multifamily Dwelling (floors above first floor)	X	SE	X	X	P	P	X	X	X	SE	SE	X	X	P
Residential Community Facilities														
Church or other Place of Worship, Parish House, Rectory, Sunday School, Convent, Seminary	SE	SE	SE	SE	SE	SE	SE	X	X	SE	SE	SE	SE	SE
General Community Facilities														
Assembly Hall	X	SE	SE	SE	SE	SE	X	X	X	X	X	X	X	P
Convalescent home or nursing home	X	X	SE	X	X	X	X	X	X	SE	SE	X	X	P
Hospital	X	SE	SE	X	SE	SE	X	X	X	X	X	X	X	SE
Medical and dental offices, not including operating room or community X-ray or therapy room	X	SE	P	X	SE	SE	P	P	P	X	X	X	X	SE
Membership club, fraternal organization or similar social institution not operated for a profit	X	P	SE	SE	P	P	X	X	X	SE	SE	X	X	P
Nursery school, day camp or day care center	SE	SE	SE	X	SE	SE	X	X	X	X	X	X	X	SE
Public utility facility	X	SE	SE	SE	SE	SE	X	X	X	SE	SE	P	P	SE
School, elementary or high, public, private, or parochial, having a curriculum equivalent to that ordinarily given in public schools.	X	SE	X	X	SE	SE	X	X	X	SE	SE	X	X	SE
Medical and dental offices including X-ray and therapy room	X	SE	X	X	SE	SE	X	X	X	X	X	X	X	SE
Business Uses														
Automobile repair garage	X	X	X	SE	X	X	X	X	X	X	X	X	X	X
Bank, excluding drive-in	P	P	P	P	P	P	P	P	P	SE	SE	P	P	P
Bar or Tavern	X	P	X	X	P	P	X	X	X	X	X	X	X	P
Bowling Alley	X	SE	SE	SE	SE	SE	P	P	X	X	X	X	X	P
Cabaret	X	P	X	X	P	P	X	X	X	X	X	X	X	P
Catering and Events Establishment	X	P	X	X	P	P	X	X	X	X	X	P	P	P
Commercial Indoor Athletic Training Facility	X	SE	X	X	SE	SE	X	X	X	X	X	X	P	P
Drive-in establishments other than restaurant, or circus, carnival, or other outdoor amusements	X	X	SE	SE	X	X	SE	SE	X	X	X	X	X	X
Drive-in and fast-food restaurant	X	X	X	SE	X	X	X	X	X	X	X	X	X	X
Food processing shop	X	X	X	SE	X	X	X	X	X	X	X	X	X	X
Funeral Home	SE	SE	SE	SE	SE	SE	X	X	X	X	X	X	X	SE
Gasoline Station	X	X	X	SE	X	X	X	X	X	X	X	SE	SE	X
Health Club, including racquetball facilities and indoor swimming pools	X	P	P	P	P	P	P	P	X	X	X	X	X	P
Heating, air conditioning, plumbing, electrical, and similar construction businesses, excluding open storage of materials	X	X	X	P	X	X	X	X	X	SE	X	P	P	X

Notes:
P = permitted use
SE = special exception use
X = prohibited use

All unlisted uses are prohibited in all districts
¹Editor's Note: See §345-56 for additional special exception uses in the M2 District.

ZONING

345 Attachment 3A

Village of Port Chester
Schedule of Regulations for Nonresidence Districts
Part 1, Use Regulations

Type of Use	Districts													
	C1 Neighborhood Retail §345-47	C2 Main Street Business §345-48	C3 Office and Commercial §345-49	C4 General Commercial §345-50	C5 Train Station Mixed Use §345-50.1	C5T Downtown Mixed Use Transitional §345-50.2	CD Design Shopping Center §345-51	CDS Special Designed Commercial §345-52	PD Design Professional Building §345-53	DW Design Waterfront §345-54	DW2 Downtown Design Waterfront §345-54.1	M1 Light Industrial §345-55	M2 General Industrial §345-561	PMU Planned Mixed Use §345-57
Hotel or Motel	X	P	P	X	P	P	P	X	X	SE	SE	X	X	P
Hotel, Motel (floors above first floor)	X	P	P	X	P	P	P	X	X	SE	SE	X	X	P
Hotel, limited service	X	P	SE	X	P	P	SE	X	X	SE	SE	X	X	P
Marina or yacht club	X	X	X	X	X	X	X	X	X	SE	SE	X	X	X
Theater	X	P	P	X	P	P	X	X	X	SE	SE	P	P	P
Motor Vehicle Sales lot, motor vehicle salesroom and accessory repair shop	X	X	X	SE	X	X	X	X	X	X	X	X	X	X
Office, Office Building	P	SE	P	P	SE	SE	P	P	P	SE	SE	P	P	P
Office, Office Building (floors above first floor)	P	P	P	P	P	P	P	P	P	SE	SE	P	P	P
Off-street parking lot or garage for motor vehicles, but not including storage of used or new motor vehicles for sale or hire; minimum requirements shall be in accordance with § 345-14.	X	P	P	P	P	P	X	X	X	SE	SE	X	X	P
Pawnshops	X	X	X	X	X	X	X	X	X	X	X	SE	SE	X
Radio or television station studio, excluding transmission tower	X	SE	P	P	SE	SE	X	X	X	SE	SE	P	P	SE
Radio or television station studio excluding transmission tower (floors above first floor)	X	P	P	P	P	P	X	X	X	SE	SE	P	P	SE
Shooting ranges with accessory sales of guns and equipment	X	X	X	X	X	X	X	X	X	X	X	X	P	X
Table-service restaurant, no drive-in, open front, fast food, or curb-service types	P	P	P	P	P	P	P	P	X	SE	SE	X	X	P
Tax Preparation Office	X	P	X	X	P	P	X	X	X	SE	SE	X	X	P
Retail store or personal service shop, services clearly incidental to retail sales on the premises or to personal services	P	P	P	X	P	P	P	SE	X	SE	SE	X	X	P
Veterinary hospital or board and care of small animals	X	SE	X	SE	SE	SE	X	X	X	SE	SE	X	X	SE
Wholesale business, storage building or warehouse	P	X	X	P	X	X	X	X	X	SE	SE	P	P	X
Industrial uses														
Cold storage plant, ice plant, bottling central distribution station, light or power plant, or garbage or sewage disposal facility	X	X	X	X	X	X	X	X	X	X	X	X	P	X
Creamery, ice cream plant or bakery plant	X	X	X	P	X	X	X	X	X	SE	SE	P	P	X
Laundry or dry-cleaning plant	X	X	X	X	X	X	X	X	X	SE	SE	P	P	X
Nonnuisance industry, provided that in nonindustrial districts equipment is used that has a rating of no more than 5 horsepower	X	X	X	P	X	X	X	X	X	SE	SE	P	P	X
Open storage of equipment or materials	X	X	X	X	X	X	X	X	X	X	X	X	SE	X
Printing plant	X	X	P	P	X	X	X	X	X	SE	SE	P	P	X
Research laboratory, provided that is shall not be obnoxious by reason of dissemination of smoke, dust, fumes, noise or vibration, or hazardous from fire waste materials or the creation of excessive demands upon municipal services	X	X	SE	SE	X	X	X	X	X	SE	SE	P	P	X
Accessory Uses														
CD Accessory garden center	X	X	X	X	X	X	P	X	X	X	X	X	X	X
Customary accessory structure or use, including cultural, recreational, or athletic facility, meeting room or similar accessory structure or use related to a school, church, or other place of worship	P	P	P	P	P	P	P	P	P	SE	SE	P	P	SE
Ethical Pharmacy	X	SE	X	X	SE	SE	P	X	P	X	X	X	X	SE
Ground-floor office as accessory use to multifamily development	X	SE	X	X	SE	SE	X	X	X	SE	SE	X	X	P
Private garage or private off-street parking area, in accordance with § 345-14	P	P	P	P	P	P	P	SE	P	SE	SE	P	P	P
Sign, in accordance with § 345-15	P	P	P	P	P	P	P	P	P	SE	SE	P	P	P

Notes:
P = permitted use
SE = special exception use
X = prohibited use

All unlisted uses are prohibited in all districts

¹Editor's Note: See §345-56 for additional special exception uses in the M2 District.

CORRESPONDENCE



Companies:

Reliance Chemical & Hose
No. 1

Putnam Steamer & Hose
No. 2

Received
NOV 17 2014
Village Clerk
VILLAGE OF PORT CHESTER

Fire Department

Village of Port Chester

WESTCHESTER COUNTY, N. Y.



Headquarters: Westchester Avenue and Boninga Street

Harry Howard Hook &
Ladder No. 1

Fire Police No. 1

Mellor Hose No. 1

Washington Engine & Hose
No. 4

Brooksville Hose No. 5

TO THE HONORABLE BOARD OF TRUSTEES OF THE VILLAGE PORT CHESTER, N. Y.:

The *Fire Patrol & Rescue Co. 1* respectfully reports that at a meeting held on *Tues. Nov 11, 2014* favorable action was taken on the following:

Elected active members.....

Elected honorary members.....

Members resigned.....

Members expelled *Beille, Anthony*

Members suspended.....

Members died.....

Badges returned (numbers).....

Remarks.....

Secretary.
James K. Mitchell, Jr.

*- Violation of Company
By Laws Section 12 - Delinquency.*

www.pcrbchamber.com
pcrbchamber@gmail.com
Tel 914-939-1900 Fax 914-437-7779

222 Grace Church Street
Suite 301 A
Port Chester, NY 10573



VILLAGE OF PORT CHESTER

NOV 20 2014

RECEIVED

*Ken Manning -
President*

*Chairman-BOD
Frank Madonia*

November 20, 2014

*Vice Chairman-BOD
Gerald Logan*

*Treasurer
Dan Colangelo*

Mayor Neil Pagano and
Board of Trustees
Village of Port Chester
222 Grace Church Street
Port Chester, NY 10573

*Chairman Emeritus
Michael Borrelli*

*Ex Officio Members:
Christopher Steers
Christopher Bradbury*

Gentlemen:

*Secretaries:
Toni Rovello
Donna Mead*

On behalf of the Port Chester/Rye Brook/Rye Town Chamber of Commerce, I am making our annual request for the Village of Port Chester to allow free street parking (with a two-hour limit) on North Main Street, South Main Street, Abendroth Avenue, the lower portion of Willett Avenue from North Main Street to Abendroth Avenue, and Westchester Avenue from December 20 through and including December 31, 2014.

*Board of Directors:
Richard Abel
Michael Borrelli
Dan Colangelo
George S. Latimer
Gerald L. Logan
Frank Madonia
Ken Manning
Scott Moore
Richard Reidy
Martin Rogowsky
Pat Sestito
Roman E. Ciocek
James Wright
Neil Pagano*

Thank you for your consideration.

Sincerely,

Ken Manning
President

VM
JAN 2

Ciro Cuono, P.E.

November 23, 2014

Honorable Mayor Neil Pagano
Village of Port Chester, NY
222 Grace Church Street
Port Chester, NY 10573

Reference: Planning Commission
Village of Port Chester, NY

Dear Mayor Pagano;

I write this letter to express my interest in becoming a member of the *Planning Commission* here in Port Chester. Pursuant to your requirements, please accept my resume, along with this, my letter of intent, in that regard.

I am a structural engineer with a small practice located on Main Street here in Port Chester. I have been living in Port Chester, with my wife and 2 children for the last 10 years. In that time I have observed many changes in our community, most of which have been very positive.

I am currently a member of the *Port Chester Architectural Review Board*, where I have served for the last few years. Serving on the architectural review board has been a rewarding experience both professionally and personally through friendships that I have made.

While I enjoy serving on the *Architectural Review Board*, I have always had a greater interest in serving on the *Planning Commission*.

I believe that my professional experience and service on the *Architectural Review Board* would make me an ideal candidate to serve on the planning commission. If appointed to the Planning Commission I would seek to create a greater dialogue with the *Architectural Review Board*, something which most of the *ARB* members feel is needed, and seek to further the goals of positive long term growth for Port Chester.

Please feel free to contact me should you wish to pursue this dialogue.

Regards,



Ciro Cuono, P.E

Address:
325 King Street
Apartment 4i
Port Chester, NY 10573

Telephone: (914) 522-2625
Email: ccuono@optonline.net



Ciro Cuono P.E. LEED AP, Principal

Ciro Cuono is the founding Principal of Cuono Engineering PLLC, a structural engineering firm located in Port Chester, N.Y. Mr. Cuono has a master's degree from Columbia University and an undergraduate degree from Manhattan College. After working for both the Transit Authority of NYC and a small engineering firm in the SoHo district of NYC, he founded Cuono Engineering. In addition, Mr. Cuono is an assistant adjunct professor of structural engineering at the Bernard and Anne Spitzer School of architecture at the The City College of NY and a board member of his local Architectural Review Board.

Mr. Cuono has over 15 years of experience in structural design. His experience includes the structural design of small to medium sized new buildings, historic building restoration and large renovations. Mr. Cuono's various experiences have included designing with reinforced concrete, steel, wood, masonry, and aluminum for residential and commercial buildings, museums and cultural buildings, high end residential and multifamily residential, façade restorations, and historic buildings repairs and restorations.

Currently, with a staff of 5, Cuono Engineering is actively working on many new and historic renovation projects throughout the Tri-State area and beyond.

Sample Project Experience

- **Rodeph Sholom School**, NYC—renovation and addition to an existing 5 story school
- **Noguchi Museum**, Queens, NY – renovation of existing museum
- **NYC School Construction Authority**, NYC– Renovation of façade restorations and modernizations for NYC SCA.
- **Private Residence**, Woodstock, Vermont – renovation and restoration of a former mill building to a new private residence
- **Stamford Hospital**, Stamford, Ct – Analyzed existing floor and designed reinforcement for new C-Arm OR equipment
- **Grace Church**, White Plains, NY – Assessed the existing structural condition of existing historical structure.
- **Bronx Lebanon Hospital**, Bronx, NY – Designed a new 5 story concrete flat plate recovery center
- **105 Rowayton Avenue**, Norwalk Ct – Design of new raised roof structure on existing building
- **Riverton Lofts**, Hastings on Hudson, NY – New 4 story condominium: steel frame with precast planks
- **Stone Barns**, Pocantico Hills, NY – Renovation of existing historic barn converted to a restaurant
- **Botswana Mission**, NYC --Repair and load analysis of the ground floor framing: existing cinder slab system.
- **689 Fifth Avenue**, NY, NY– Design of new hung mechanical dunnage platform from existing structure.
- **Arcade Building**, Bridgeport CT – Renovated existing historic commercial building in downtown Bridgeport, Ct.
- **940 Park Avenue**, NY, NY — Prepared structural assessment report on existing deteriorated structural conditions at sidewalk vault.

Education

Columbia University, New York, NY
 Masters of Science - Civil Engineering & Engineering Mechanics

Manhattan College, Riverdale, New York
 Bachelor of Science: Civil Engineering;

Licenses & Accreditations

Professional Engineer: NY, CT
 LEED Accredited Professional – December, 2008

- Experience** NYC Transit Authority, 1999
Hage Engineering, NYC, 1999-2012
Cuono Engineering, 2012 – Present
- Academic** City University of New York, Bernard and Anne Spitzer School of Architecture
Assistant Adjunct Professor
- Publications** “Renovating Historic Facades”, **ArchPLUS**, Winter 2014
“Demystifying Soils and Deep Foundations”, **ArchPlus**, Spring 2014
“The Relevance of the Structural Engineer”, **ArchPlus**, Summer 2014
“Preserving History While Designing for the future”, **Structural Engineering & Design**, Feb. 2010
Integrated Design: Series of Collaborative Article for **Structural Engineering & Design Magazine**
- “Waterproofing Historic Masonry Walls”, January 2010
 - “Roof Decks on Existing Cinder Slab Buildings”, March 2010
 - “Mechanical Dunnage, Not as Simple as it Seems:”, July 2010
 - “Green Roofs: The Future Is Now”, September 2010
 - “Sidewalk Vaults, what lurks below”, November 2010
 - “Structural Innovation and Sustainability”, March 2011
 - “Architecturally Exposed Concrete: A True Collaboration”, July 2011
 - “Architecturally Exposed Structural Steel”, September 2011
 - “Heavy Timber Framing”, November 2011
 - “Glass: An Architectural and Structural Perspective”, March 2012
 - “Adler & Sullivan, The Innovators”, July 2012
 - “Cables In Structures”, November 2012
 - “Fabric For Permanency”, March 2013
 - “Dynamic Structure”, July 2013
 - “The Ingenious NYC Subway”, February 2014
- Lectures** ‘**Structural Renovations of Historic Structural Systems**’
Structural Engineer’s Coalition of Connecticut, May 14, 2014
- Political Affiliations** *Independent*

From: [Pagano, Neil \(Mayor\)](#)
To: [Richards, Janusz R](#); [Ceccarelli, Gene \(Trustee\)](#)
Subject: FW: Invitation to Join Sustainability Committee
Date: Monday, November 24, 2014 12:53:13 PM

Janusz
Correspondence for BOT agenda.
Gene - would like to take this on?

Neil

NEIL J. PAGANO

Mayor

Village of Port Chester

222 Grace Church Street

Port Chester, NY 10573

914-939-2200

From: Gregory Arcaro [garcaro@townofryeny.com]
Sent: Monday, November 24, 2014 11:40 AM
To: Pagano, Neil (Mayor)
Cc: Christina
Subject: Invitation to Join Sustainability Committee

Dear Mayor Pagano,

The Rye Town Council recently authorized the formation of a Sustainability Committee to:

1. Measure the current carbon footprint of our community and schools
2. Promote "best practices" for reducing our carbon footprint
3. Take actions that will result in reducing our community's and schools' carbon footprint and energy costs

The Council's goal is to have 8-10 members on the Committee with separate representatives from the:

- Villages of Port Chester, Mamaroneck and Rye Brook
- The Blind Brook, Port Chester and Rye Neck School Boards
- General public.

As chair of the Committee, I invite you to be part of this exciting new initiative by sending potential members to the Committee's initial orientation meeting at 6pm on December 16th at Crawford Park when we will discuss the work of other Sustainability Committees in Westchester County, the goals of this Committee and start planning the Committee's activities for 2015.

Regular monthly meetings will take place at 6pm on the third Tuesday of every month at Crawford Park starting January 20th.

Please contact me if you have any questions.

Thank you.

Christina Collins, Chair
Sustainability Committee

MINUTES

MEETING HELD OCTOBER 29, 2014

A meeting of the Board of Trustees of the Village of Port Chester, New York, was held on Wednesday, October 29, 2014, in the Court Room of the Police Headquarters Building, 350 North Main Street, Port Chester, New York, with Mayor Neil Pagano presiding.

Present in addition to Mayor Pagano, were Trustees Gregory Adams, Daniel Brakewood, Saverio Terenzi, Luis Marino, Joseph Kenner and Gene Ceccarelli.

It should be noted that Trustee Terenzi arrived at 7:13 p.m.

Also present were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto; Chief of Police, Richard Conway; Attorney Anthony Piscionere (representing a member of Port Chester Police Department); charged Police Officer; Attorney Terry O'Neil, and Attorney Emily E. Harper, Labor Councils.

On motion of TRUSTEE CECCARELLI, seconded by TRUSTEE MARINO the meeting was declared opened at 7:06 p.m.

ROLL CALL

AYES: Trustees Adams, Brakewood, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustee Terenzi.

DATE: October 29, 2014

Mayor Pagano made the following opening statement:

“Ladies and gentlemen, I will be reading from a prepared statement. Please bear with me. We are convening this evening as a board of police commissioners to hear and determine the disciplinary charges that have been preferred by the chief of police against a member of the police department. The legal basis for proceeding as provided under the Westchester Police Act, also known as Section 5711-q of the unconsolidated laws of the State of New York, and the rules and regulations of the Port Chester Police Department.

We have retained a court reporter who will make a verbatim transcript and a true and accurate record of the proceeding.

Counselors, please note your appearances.”

Terrie O'Neil, Bond Schoeneck & King by Terry O'Neil and Emily Harper for the police chief.

Anthony Piscionere, Piscionere & Newmarrow, for the respondent.

“In my view, the outline of these proceedings will be as follows: opening statements will be made first by Mr. O’Neil, and then by Mr.

Piscionere. Mr. O’Neil will present the case for the chief of police. After Mr. O’Neil has rested his case, Mr. Piscionere will make the defense for the officer. Both attorneys have the right of cross and redirect examination of witness. All witnesses will be sequestered and will give their testimony under oath. The formal rules of evidence will not apply. As presiding officer, I will make rulings on evidentiary and other procedural questions as they may arise. Members of the board are encouraged to participate, but I would ask that the questions of counsel or witnesses be made through this chair.

Closing arguments will be made first by Mr. Piscionere then by Mr. O’Neil. Thereafter, this board will then meet to carefully consider the record made by both sides and engage in deliberation before arising at a determination as to whether the officer should be convicted on the charges. In the event that there was a conviction, the board must then decide on the appropriate penalty.

We will likely not complete this process this evening, and I expect this matter will require at least another one or two meetings. One of the matters that has to be settled tonight is whether this hearing will be conducted in public or private. If decided to be private, I will ask that the public leave this courtroom. No one will be permitted to stand outside the door or the hallway or at the top of the stairs.

On the other hand, if decided to be public, I will advise that the public is invited to be present and observe proceeding. However, this is not a meeting with public comment. Please observe good manners and courtesy. Anyone who does not comply, will be asked to leave. We’ll see how the hearing goes, but in no event do I expect the proceedings to go beyond around 10 o’clock this evening. We’ll adjourn the meeting, if necessary, tonight in public and announce the adjourn date at this time.

The first type of business is to decide whether to conduct this hearing in public or private.”

MEETING OF THE BOARD OF TRUSTEES IN THEIR CAPACITY AS A BOARD OF POLICE COMMISSIONERS

The Board of Trustees proposed a motion for executive session regarding a particular personnel matter.

MOTION FOR EXECUTIVE SESSION

At 7:16 p.m., on motion of TRUSTEE MARINO, seconded by TRUSTEE KENNER, the Board adjourned into an executive session for the purpose of consulting with Village Attorney.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

Also present were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto; and Chief of Police, Richard Conway.

No action was taken in executive session.

At 7:32 p.m., a motion to come out of executive session was made by TRUSTEE MARINO, seconded by TRUSTEE KENNER, the Board of Trustees closed the executive session.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

Mayor Pagano asked for a motion to conduct the disciplinary hearing in private.

There being no objections, on motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE ADAMS, the motion to conduct the disciplinary hearing in private was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

At 7:37 p.m., on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE KENNER the Board adjourned into an executive session to conduct the trial with regard to disciplinary charges brought against a member of the Port Chester Police Department pursuant to the provisions of Section 5711-q of the Unconsolidated Laws of the State of New York.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano
NOES: None.
ABSENT: None.

DATE: October 29, 2014

Also present were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto; Chief of Police, Richard Conway; Attorney Anthony Piscionere (representing a member of Port Chester Police Department); charged Police Officer; Attorney Terry O'Neil, and Attorney Emily E. Harper, Labor Councils.

Mayor Pagano asked for a motion to recess in order to consult with Village Attorney.

There being no objections, at 8:47 p.m. on motion of TRUSTEE MARINO, seconded by TRUSTEE CECCARELLI, the motion to recess in order to consult with Village Attorney was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano
NOES: None.
ABSENT: None.

DATE: October 29, 2014

Also present during the recess were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto and Chief of Police, Richard Conway.

No action was taken.

At 9:03 p.m. on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE MARINO, the motion to come out of recess was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

No action was taken in executive session.

At 11:08 p.m., a motion to come out of executive session was made by TRUSTEE MARINO, seconded by TRUSTEE KENNER, the Board of Trustees closed the executive session.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

The Clerk was asked to poll the Board of Trustees as to their availability to meet and continue the hearing.

Motion to Add-On a Resolution

Mayor Pagano asked for a motion to add-on a supporting resolution welcoming the efforts of Purchase College to establish a creative hub in downtown Port Chester.

On motion of TRUSTEE MARINO, seconded by TRUSTEE BRAKEWOOD, the motion received a unanimous vote of those present.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

RESOLUTION (Add-On)

On motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE CECCARELLI, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

Whereas, the Village of Port Chester Board of Trustees sees the value in animating the center of the Village with collaborative arts projects; and

Whereas, Purchase College's Creative Urban Design Lab will provide tools for sustainable development, offer training via new media/arts projects, help generate job skills, promote economic revitalization, educate residents for citizenship, and promote diversity and broader community relations in Port Chester; and

Whereas, Purchase College's Creative Urban Design Lab will bring community members into contact with art professors and students to learn to tell their stories through creative practices and to brainstorm and accomplish together design solutions for the Village; and

Whereas, the service learning and reciprocal skill exchange model utilized by Purchase College's Creative Urban Design Lab will offer a real chance for mutual growth and for helping the diverse constituents of Port Chester and Purchase find common ground through the arts. Now, therefore be it

RESOLVED that the Board welcomes the efforts of Purchase College to establish a creative hub in downtown Port Chester; and as a result, be it further

RESOLVED, that the Board of Trustees expresses its enthusiasm for Purchase College's Creative Urban Design Lab proposal.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Marino, Kenner, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

At 11:15 p.m., on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE MARINO, the meeting was closed.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, Kenner, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: None.

DATE: October 29, 2014

Respectfully submitted,

Janusz R. Richards
Village Clerk

MEETING HELD NOVEMBER 3, 2014

A meeting of the Board of Trustees of the Village of Port Chester, New York, was held on Monday, November 3, 2014, in the Court Room of the Police Headquarters Building, 350 North Main Street, Port Chester, New York, with Mayor Neil Pagano presiding.

Present in addition to Mayor Pagano, were Trustees Gregory Adams, Daniel Brakewood, Saverio Terenzi, Luis Marino, and Gene Ceccarelli.

It should be noted that Trustee Joseph Kenner was absent.

It should be noted that Trustee Brakewood arrived at 6:07 p.m. and Trustee Adams at 6:18 p.m.

It should be noted that Trustee Marino left the meeting at 8:00 p.m. and Trustee Ceccarelli left at 8:45 p.m. and returning at 9:20 p.m.

Also present were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas (arrived at 6:40 p.m.); Director of Planning and Development Christopher Gomez (arrived at 6:40 p.m.); Chief of Police, Richard Conway; Christopher Ameigh Administrative Aide to the Village Manager (arrived at 6:40 p.m.); Village Planner Jesica Youngblood (arrived at 6:40 p.m.) and Ed Brancati, Human Resources (arrived at 6:40 p.m.).

On motion of TRUSTEE TERENCE, seconded by TRUSTEE MARINO the meeting was declared opened at 6:01 p.m.

ROLL CALL

AYES: Trustees Terenzi, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Adams, Brakewood and Kenner.

DATE: November 3, 2014

MOTION FOR EXECUTIVE SESSION

At 6:01 p.m., on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE MARINO, the Board adjourned into an executive session for the purpose interviewing candidate for Taxi Commission.

ROLL CALL

AYES: Trustees Terenzi, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Adams, Brakewood and Kenner.

DATE: November 3, 2014

Also present were: Village Manager, Christopher Steers; Village Clerk, Janusz R. Richards; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas and Chief of Police, Richard Conway.

No action was taken in executive session.

At 6:10 p.m., a motion to come out of executive session was made by TRUSTEE TERENCE TERENZI, seconded by TRUSTEE MARINO, the Board of Trustees closed the executive session.

ROLL CALL

AYES: Trustees Brakewood, Terenzi, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Adams and Kenner.

DATE: November 3, 2014

AWARD PRESENTATION

Port Chester Soccer Club

Mayor Pagano made the following opening statement:

The Port Chester Soccer Club, Inc. is a nonprofit corporation organized and administered by Port Chester Parents and supported by the Village of Port Chester Recreation Department under Heather Krakowski. The club was first organized over 20 years ago by Caesar Aliaga. Jose Perdomo is the Club's president and Tournament Coordinator.

The club fielded 24-25 youth soccer teams, which are evenly divided by age groups teams. There are more than 400 children and young adults who participate in its programs and over 300 children are enrolled in travel program. Boys and girls ages range from

This year, over the Labor Day weekend, the players we are honoring tonight - who are from the Port Chester Select Team and were in the under 10 year old category - won the 10th Annual Independence CUP against Columbia in the International Youth Soccer Tournament held in Port Chester, New York. This is the 2nd Time the Club won this tournament. Teams from Peru, Columbia, Honduras Guatemala and local teams from Boston and Long Island also participated.

The Port Chester team, made up of 14 players was coached by Alejandro Novoa and Calixto Cornejo. Monica Villagran was the Manager.

Tonight's award reads for "Achievement in being part of the 2004 Port Chester Select Team bringing home the Championship at the Port Chester Soccer Club 10th Annual Independence Cup Youth Soccer Tournament."

The recipients receiving a certificate for their achievement in being part of the 2004 Port Chester Select Team bringing home the Championship at the Port Chester Soccer Club 10th Annual Independence Cup Youth Soccer Tournament were:

Team members: Brian Aguilar, Daniel Alarcon, Luis Alvarez, Maxamillion Arango, Andres Barajas, Sebastian Campos, Dilan Ceron, Andrea Flores, Gerardo Guerra, Ashley Reyes, Jean Carlo Ruiz, Christian Torres, Carlos Vasquez, Kevin Vizhco.

Coaches: Alejandro Novoa and Calixto Cornejo

Manager: Monica Villagran

MEETING OF THE BOARD OF TRUSTEES IN THEIR CAPACITY AS A BOARD OF POLICE COMMISSIONERS

The Board of Trustees proposed a motion for executive session regarding a particular personnel matter.

Use of DEA Funds

Chief Richard Conway went over some of the things they've been doing with the funds we've been getting through our participation with the DEA and the funds we've been getting through our acts of forfeitures. The fund is in the vicinity of \$236,000. We anticipate more coming in from two places we've been working on:

Upgrade the Radio System – we've allocated \$10,000 to place a receiver, or a repeater system at the top of this building. \$4,000 to remove an existing receiver on top of 10 Pearl Street to the top of the firehouse on Grace Church Street. This should give us better coverage in the downtown development and also in the housing authority locations. We also believe that at some time in the near future we are going to have to replace the main repeater. That's the 125 watt transmitter that all of our radios go to. That's on top of the Westchester Country Club. Because of FCC regulations we are going to have to change that to a narrow band operation. This is between us, the City of Rye and Rye Brook who all use the same repeater. This will cost us about \$12,000.

The second area is the upgrade of body armor. We already have that okayed to replace 22 bullet proof vests. Also to replace heavy body armor, which we place on people when they do high risk operations.

Replacing vehicles. We inventoried our vehicles and have 2 marked vehicles over five years old. We have 4 unmarked vehicles that are over 10 years old and have over 100 thousand miles on them. These vehicles would not be able to pass as taxis in the Village of Port Chester. We want to replace three of the unmarked vehicles with four fusion vehicles. The estimated cost is \$21,900 and that is equipped with radio, lights and

siren. Another issue with our older vehicles is that we are putting more of a strain on our Village Garage.

Replacing or upgrading our medical gear. We presently have four defibrillators, or AEDs. The purchase of two additional AEDs would allow us to give each car, the supervisor's car and the emergency truck an AED. We'd also like to purchase a new one each year. Each AED is \$15,000 and we'd like to replace two a year. We also want to upgrade our first aid equipment that we have in our radio cars.

Outfitting an emergency vehicle. This is a concept that we are bring back from years ago. We are going to take a Tahoe and outfit it to use for emergency functions. The cost of this equipment is approximately \$20,000.

Next is upgrading our department's training program. We want to experiment with bringing in trainers from the outside, experts in the field from private companies or organizations who can come in and make our training a little bit more thorough and more interesting. We are also looking for training for people who execute search warrants. The cost of this training would be approximately \$15,000 to train ten to a dozen people.

A reestablishment of the voice recorder system, the typist. We had a system where we used a Dictaphone system and we had a pool of typists to type reports. Approximately two years ago we experimented with getting rid of that system and the equipment was all returned or destroyed. To redo that system we are still going to need typists. This would cost about \$21,000.

Rye Town Supervisor, Joe Carvin regarding November 4 referendum.

There will be on the referendum tomorrow, as it relates to Rye Town, the Rye Town Board has recommended that we change the Receiver of Taxes position from an elected position to an appointed position; and the same thing with the Superintendent of Highways. We have been able to reduce taxes is because we've worked with the personnel in the Town to rationalize operations.

Resident Mr. Vinci commented he is totally against changing the elected position to appointed because they are totally taking away my right to vote. I also think when you appoint somebody it is political.

WORKSHOP

120 N. Pearl St. bonus program application under Village Code §345-16.

Village Planning Director Chris Gomez commented this is on for Resolutions tonight regarding the density bonus provisions as well as approval for an additional 12 units. At the last meeting in terms of the bonus as proposed, as to how that money would be utilized by the Village for public benefits for open space, parking down and/or housing rehabilitation. Stepping back a little bit a thought was to have a clear direction

where the money will be spent in a sense that the Village Treasurer would be establishing upon payment a specific density bonus fund that could be used for any of the three benefits.

Trustee Terenzi commented that new homes stats are down and first-time home buyers are down dramatically. People are renting in urban areas. The Mariner has been successful and I'm sure these guys will be successful. It is hard to get a mortgage and it is steering people into the rental market. The fact that we are going to get money for the extra units, which does not put a burden on us, works well.

Mayor Pagano commented the market is really slowing and it seems right to move in this direction. Mortgage money is very difficult at best. The pressure right now is on the apartment market. Properties are selling in the Village. These units will sell. They are at market level. The Village is long overdue to receive its share of fair market housing. It will be contributing a good chunk of money to the tax base.

Trustee Brakewood commented this is consistent with our master plan which was developed over a number of years. This property will actually be paying commercial taxes.

Chris Gomez commented that one of the impacts we will realize is a 750% increased value on this property compared to what's there now. The Planning Commission approved the site plan and special exception plan at their meeting on October 27th. This is based on this Board approval of the resolution for the density bonus this evening.

Trustee Terenzi asked how the Planning Commission made out on the left turn, right turn situation. Chris Gomez said this was not gone over at the Planning Commission meeting.

Trustee Ciccarelli commented, to be absolutely clear, regarding the use of the property density bonus money. The money could be applied to open space, housing rehabilitation and a downtown parking garage. All that is required under density bonus is setting up a fund for prescribed use. It must be used for a dedicated purpose.

Trustee Brakewood commented that we need to discuss, as a Board, whether we want to build a fund to achieve a critical mass, or keep the projects to a more tactical or more specific and turn the money to a closer time that it is actually acquired.

PRESENTATION

Independent Auditors' Report – Village of Port Chester fiscal year 2013-2014

The firm of Drescher & Malecki conducted two audits on behalf of the Village. The first focuses on the I.D.A. Audit which is required to be conducted by the New York State Controller's office. This shows that the Net assets compared favorably to the past year. We increased our assets in the past year by some \$28,000. This is an accumulation of dollars over the years.

The Village Audit is our main responsibility. We will talk about our opinions, the financial statements and our observations. Our job is to provide users of financial statements that these financial statements can be relied on. You have bankers, insurance agents and investors ask for financial statements. Those are the people who want to know that your financial statements state your position. If there is fraud when you bring forward financial statements, our responsibility is to bring that forward.

Then we get into what the financial statements brought us. In going from 2010 to 2014 that increment only averages out to about 2.5%. So we are doing a pretty good job of keeping spending under control. The purpose is to show you that as a Board you are trying to get to a 1. If we are over 1 that means your revenues are a little higher. You don't want to go consistently over 1 because then you will be accused of overtaxing people. If you go under 1 you are going to create a deficit.

Looking at the long-term debt it is again a favorable trend.

In discussing observations we will talk about where you're going. You have this tax cap out there. Spending has only gone up 2.5%. Revenue is stagnant. If taxes are increased by only 1% eventually we will run out of money. Don't fall into distress trying to stay under the tax cap. We would like to see some IT enhancements in the Village.

Trustee Terenzi would like Drescher & Malecki to come in and go over the numbers the Village comes up with. Mayor Pagano said he would like to see, once we do have hard numbers, to go over the projected operating budget for the next five, ten, fifteen years or so. He would like to know what the levy is going to be and what the tax rate is going to be.

Right now we are working on a tool which will show the impact to the tax rate. So you can combine those two and see the combined effect of the long term changes. We cannot make managerial decisions but we can perform the test functions.

PUBLIC COMMENTS

Mayor Pagano asked if there was anyone from the audience who would like to make any public comments.

Comments were made by:

Ms. Goldie Solomon commented on voting day, Veterans Day and Thanksgiving Day. She remarked on the film company at the Senior Center. She commented on Rye Town moving to 222 Grace Church Street. This will affect the parking. She spoke of the closing of two churches in Port Chester. We have disabled and older people who go to these churches. We should be able to pay our Sewer Rent at the Village Hall. We should be collecting money from the neighboring communities who are using our Waste Treatment Plant.

Mr. William Dutra and Sal Muto commented on a bulkhead problem at the Port Chester Yacht Club. Superstorm Sandy did a lot of damage. It is not a simple fix. We hired a marine surveyor and Mr. Contavage is going to fix it. The cost is going to be borne by the Port Chester Yacht Club. We submitted paperwork and are waiting for a signature so we can forward it to the DEC and get permits to repair this bulkhead. This should be submitted to the I.D.A. so maybe there will be a tax break.

Mr. Richard Abel commented on the Village election. Village Attorney Cerreto said he contacted an outside attorney, Jeff Bender. His flat fee is \$2,500. He expects the papers to be out by the end of the week. Mr. Abel commented on 120 North Pearl Street and the taxes on the property.

Marc Arnel, a homeowner and resident, He is a commercial property at 26 Poningo Street. It sits in a C1 district. I'd like to open a medical and chiropractic office in the building that I own, but C1 excludes medical use. The C1 districts are generally tucked up next to commercial zoned areas. They are transitional zones. There are chiropractors practicing in downtown Port Chester currently. Certainly a doctor's office would fit in with those permitted in the C1 district. A neighborhood medical office would serve the residents of this community and would fill a need. I propose a zoning change.

Mayor Pagano commented earlier today there was another medical facility looking for the same change. Village Manager Steers commented that an issue may be parking. Village Planning Director commented that we do not have to provide parking in a C1 district. Mayor Pagano asked that this should be on the next agenda.

Mr. Ceruzzi commented on the number of executive sessions held by this Board. His feeling is anything that has to do with taxpayer money should be held in open court, whether it is personnel or contracts. He has from the State Controller's Office the management of the Senior Center from May 2009. It reads "The Board and Village Officials did not disclose or adequately monitor the Senior Center capital project." Is this board going to put this up for a referendum? Trustee Terenzi commented that we will be leasing the building from NDC.

Ms. Beatrice Conetta commented on Mr. Carvin gave no reason what we have been doing for years. We have been electing Tax Receiver and Superintendent of Highways for as long as I can remember. They are taking the vote out of the people's hands. She commented on the last meeting and George Ford said we should have respect for the Board. The Board should have respect for the residents.

Ms. Dina Goren made the following comments: "Good Evening. As a reminder, the Port Chester Dog Park Group was established last year with the goal of creating a dog park within our community. A group of area residents got together and followed a formal approval process with the Parks Commission and this Board of Trustees on both the concept and location of a dog park. We made sure to have the necessary approvals in place before starting our fundraising efforts.

Back in August we announced that with the community's support, Port Chester had come in 1st place in the medium size city category of the PetSafe Bark for your Park contest and had thus won \$25,000 towards the building of the dog park. With these winnings we

had raised over \$50,000 and we were ready to work with the village to get this dog park built.

Since August, the Port Chester Dog Park Group has submitted to Village staff a proposed site plan and budget, suggested rules and regulations, and sample estimates from fencing companies. We also worked with the village staff on developing a tentative timeline that would have gotten us to both Parks Commission and BOT approvals by mid---October so that we could get fencing bids in as well as PetSafe approval before the end of the year. To receive the PetSafe money we need to provide them with a site plan, budget, cost estimate, and timeline for them to approve. The established deadline for this is the end of November.

Since we receive DAILY questions from the community regarding when the dog park will open, together with Village staff we agreed that a timeline shooting for an early---Spring opening would be safe (if not earlier). This is the date we've been communicating out to the community. Village staff said that they would be the liaison between the group and the various village departments and boards making sure that all necessary approvals are in place.

Given that we don't believe there have been any formal discussions with the Parks Commission or BOT regarding the dog park plans yet, the Port Chester Dog Park Group is concerned about both the timeline and the direction the project may be heading. To this end, we request that the Dog Park Group be invited to any scheduled Parks Commission, BOT, and other relevant meetings where the dog park will be discussed. We also request an updated timeline that hopefully gets us back on track for approvals and bids.

Lastly, we urge the village to follow through on this project and show the community that hard work and dedication towards citizen---led community improvement projects such as this one will be respected by the village and that it is a worthwhile investment in resident's time and energy when proper procedures and approvals are followed."

Attorney Gioffre followed up on Dr. Arnel's request for a change to the zoning text amendment for a C1 district. There are a significant number of properties that are non-conforming in the area classified as commercial that are within residential zoning districts.

RESOLUTIONS

RESOLUTION #1

DESIGNATION OF VILLAGE 2015 ELECTION

On a motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE TERENZI, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

RESOLVED, that the annual Election for the Village of Port Chester, New York, to be called and held pursuant to the Charter of the Village of Port Chester, New York, be held on the 18 day of March, 2015, between the hours of 7:00 A.M. and 9:00 P.M., and that such Election shall be called and held at the following polling places within the Village of Port Chester, NY:

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Fifth Election District** of the Town of Rye shall be in the Don Bosco Center, Don Bosco Place, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Sixth Election District** of the Town of Rye shall be in the Don Bosco Center, Don Bosco Place, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Seventh Election District** of the Town of Rye shall be in the Don Bosco Center, Don Bosco Place, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Eighth Election District** of the Town of Rye shall be in the John F. Kennedy School, Olivia Street, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Ninth Election District** of the Town of Rye shall be in the John F. Kennedy School, Olivia Street, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Tenth Election District** of the Town of Rye shall be in the Corpus Christi School, South Regent Street, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Eleventh Election District** of the Town of Rye shall be in the Carver Center, 400 Westchester Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Twelfth Election District** of the Town of Rye shall be in the Park Avenue School, Park Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Thirteenth Election District** of the Town of Rye shall be in St. George Orthodox Church of Westchester, Irving Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Fourteenth Election District** of the Town of Rye shall be in St. George Orthodox Church of Westchester, Irving Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Fifteenth Election District** of the Town of Rye shall be in St. George Orthodox Church of Westchester, Irving Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Sixteenth Election District** of the Town of Rye shall be in the Don Bosco Center, Don Bosco Place, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Seventeenth Election District** of the Town of Rye shall be in the Brooksville Gardens Senior Citizens Apts., Terrace Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Eighteenth Election District** of the Town of Rye shall be in the Edison School, Rectory Street, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Nineteenth Election District** of the Town of Rye shall be in the Park Avenue School, Park Avenue, in said Village.

The Polling Place for the qualified voters of Port Chester who reside within the limits of the **Twenty-Fifth Election District** of the Town of Rye shall be in the King Street School, King Street, in said Village.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

RESOLUTION #2

**120 NORTH PEARL STREET
TRANSIT-ORIENTED DEVELOPMENT
SEQRA DETERMINATION OF SIGNIFICANCE
SPECIAL PERMIT FOR A DENSITY BONUS PURSUANT TO §345-16 OF THE
VILLAGE CODE**

On motion of TRUSTEE ADAMS, seconded by Trustee TERENCE, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester Board of Trustees is in receipt of a density bonus special permit application for submitted by AGD North Pearl, LLC, for property located at 120 North Pearl Street, specifically known and designated as Section 142.22, Block 2, Lot 62; and

WHEREAS, the density bonus special permit application requests a reduction in the lot area per dwelling unit required in the C2 Main Street Business District from 750 square feet to 575 square feet to permit an additional twelve (12) dwelling units on site pursuant to Village Code §345-16 Building Height and Floor Area Bonus Program; and

WHEREAS, the proposal includes the demolition of an existing 2,115 square foot auto-glass repair facility and the construction of a 5-story, 50-unit market rate residential development with forty-six (46) on-site structured parking spaces with outdoor patio and pool amenities; and

WHEREAS, the proposed use is classified as ‘multifamily dwelling’ which is permitted by special exception use permit in the C2 Main Street Business zoning district, subject to approval by the Planning Commission per Village Code §345-59(D)(2)(a); and

WHEREAS, the proposal furthers the goals and objectives of the Village’s adopted Comprehensive Plan (2012), Housing Recommendation #2 whereby land use regulations should “*accommodate future growth in appropriate areas of the Village (e.g. downtown and around the train station...*” and “*maintain opportunities for a diverse housing market...*”; and

WHEREAS, the Project is designated as an Unlisted Action pursuant to NYCRR 617 of the SEQRA regulations and has proceeded via an uncoordinated environmental review by the Planning Commission, Zoning Board of Appeals, and Board of Trustees requiring each approval agency to make its own SEQRA Determination of Significance before granting approval(s); and

WHEREAS, on July 17, 2014, the Village Zoning Board of Appeals granted an area variance from §345-61(Q)(2) Multifamily Dwelling as the site abuts and is thus less than 500 feet from any single-family or two-family zoning district; and

WHEREAS, on October 27, 2014 the Planning Commission adopted a Negative Declaration for the Project pursuant to NYCRR 617 of the SEQRA regulations, granted Special Exception Use approval for the Project pursuant to Village Code §345-61(Q) Multifamily Dwelling and site plan approval for the proposal conditioned upon Board of Trustees granting an additional twelve (12) dwelling units per §356-16; and

WHEREAS, the Town of Rye Assessor commissioned Valuation Plus, Inc. of Mamaroneck, NY to conduct an independent appraisal for the proposed 50-unit mix and as-of-right 38-unit mix (dated October 10, 2014), which calculated the fifty (50) unit project value to be \$5,800,000 and the thirty-eight (38) unit value to be \$4,530,000, resulting in a bonus valuation of \$1,270,000; and

WHEREAS, on September 15, 2014 and October 20, 2014 the Board of Trustees held a public workshop and public hearing concerning the special permit application to review the results of independent appraisal, and all persons wishing to speak on the application at the public hearing were given an opportunity to be heard; and now therefore be it

RESOLVED, that the Village of Port Chester Board of Trustees adopts the attached Negative Declaration for the project (dated November 3, 2014) pursuant to Part 617 of the implementing regulations pertaining to Article 8 of the State Environmental Quality Review Act of the Environmental Conservation Law affirming that the proposed Unlisted Action will not have a significant adverse impact on the environment; and be it further

RESOLVED, that pursuant to Section 345-16 of the Village Code, the Board of Trustees hereby grants a special permit for a density bonus reducing the required minimum lot area per dwelling unit in the C2 Main Street District as applied to 120 North Pearl Street (Section 142.22, Block 2, Lot 62) from 750 square feet to 575 square feet subject to the payment by the applicant of 15% of the anticipated \$1,270,000 assessed value of the bonus square footage, amounting to \$190,500, said payment to be made at the time of building permit application; and be it finally

RESOLVED, that such payment be attributed to a dedicated Density Bonus Fund established by the Village Treasurer to be used for any or all of the prescribed purposes set forth in §345-16.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

RESOLUTION #3

**BUDGET AMENDMENT – DEA FUNDS TO PURCHASE
THREE (3) UNMARKED FORD FUSION VEHICLES**

On motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE TEREZI, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Police Chief is recommending the use of DEA Asset Forfeiture Funds to purchase three (3) unmarked Ford Fusion cars for a total cost of \$62,823 from Vance Country Ford, C/o of the Cruisers Division, 420 Mount Pleasant Avenue, Mamaroneck, NY 10543, a Westchester County Contract vendor, #WC-RFB-13149. Now, therefore be it

RESOLVED, that the Board of Trustees of the Village of Port Chester, New York hereby authorizes the Village Treasurer to modify the 2014-15 General Fund Budget and Capital Fund Budget as follows:

GENERAL FUND

Balance Sheet:

001-001-0695	Deferred Revenue Police DEA	\$(62,823.00)
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Revenues:

001-0001-2613	Use of Deferred DEA Revenue	\$62,823.00
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Appropriations:

001-9900.900	Transfer to Capital	\$62,823.00
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CAPITAL FUND

Increase the 2014-15 Police (Car) Vehicle Budget from \$100,000 to \$162,823.

Revenues:

5.5.5031.2014.136	Transfer from General Fund	\$62,823.00
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Appropriations:

5.3120.203.2014.136	Police Cars 2014-15	\$62,823.000
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Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

RESOLUTION #4

AWARDING BID VILLAGE SEWER AND DRAINAGE IMPROVEMENTS

On motion of TRUSTEE ADAMS, seconded by TRUSTEE TERENCE, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village of Port Chester has advertised for bids for Sewer and Drainage Improvements (Bid No. 2014-07); and

WHEREAS, the Village received twelve bids for this work; and

WHEREAS, the Village's consulting engineer, Dolph Rotfeld Engineering, P.C., recommends that the Board accept the low bid of Joken Development Corp., 9 Belway Place, White Plains, New York 10661. Now therefore, be it

RESOLVED, that the Board of Trustees hereby awards the bid for Sewer and Drainage Improvements in the amount of \$199,747.00, and be it

FURTHER RESOLVED, that the Village Manager is hereby authorized to enter into an agreement with the contractor; and be it

FURTHER RESOLVED, that the funding for said work be appropriated from Sewer Improvement 5.8120.400.2013.132.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

RESOLUTION #5

AUTHORIZATION TO EXECUTE NEW YORK STATE DEPARTMENT OF STATE'S LOCAL WATERFRONT REVITALIZATION PROGRAM GRANT CONTRACT FOR BULKHEAD REPAIR

On motion of TRUSTEE TERENZI, seconded by TRUSTEE ADAMS, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the New York State Department of State ("DOS") Local Waterfront Revitalization Program ("LWRP") provides grant funding opportunities for planning initiatives and projects that advance strategies for community and waterfront revitalization; and

WHEREAS, the Village of Port Chester's exigent situation to replace the failing Village Marina Bulkhead and reactivate the adjacent public pedestrian promenade qualifies as an eligible project under the DOS-LWRP initiative; and

WHEREAS, the Village of Port Chester Office of Planning and Development submitted an application to the DOS for final design and construction documents plus permits to replace the failing bulkhead and conduct related waterfront improvements to advance economic development in the Village; and

WHEREAS, on January 9, 2014, the Village of Port Chester was awarded a DOS-LWRP grant for \$450,840, structured as a 50/50 matching grant a portion of which may consist in-kind services; and

WHEREAS, \$112,905 in funds are currently available in the existing Marina Redevelopment Project for this purpose. Now therefore be it

RESOLVED, the Board of Trustees authorizes the Village Manager to sign and execute the contract prepared by the DOS for final design and construction documents to replace the failing bulkhead (C#1000444); and be it further

RESOLVED, that the Village of Port Chester contribute its 50% grant match in an amount to be appropriated up to \$225,420 from capital budget line 5.7230.400.2009.107 for Marina Improvements.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

REPORT OF THE VILLAGE MANAGER

INITIATIVES/PRIORITIES:

❖ **Strategic Planning: Strategic Actions** (Opportunity Areas #1 Downtown TOD, #2 Downtown: Municipal Center, #3 Waterfront Redevelopment/Revitalization, #4 Fox Island, #5 United Hospital Site Redevelopment).

1) Opportunity Areas #1-5:

- Several Special BOT workshops have been held on the 345-16 Height and Floor Area Bonus Program and an appraisal has been completed. Application for said program has been made by AGD North Pearl, LLC regarding their proposed development at 120 N. Pearl Street. A public

hearing has been held on said application and there is a follow up workshop and proposed action on the application this evening.

- 2nd Consolidated Funding Application (CFA) results pending information release from the Department of State.

2) Opportunity Area #1, 5: Urbanomics presented its findings related to the IDA on September 10th. The Base Formula has been drafted and vetted. There are some concerns surrounding the factoring of “hard costs” pending additional capacity data from the school board. A presentation to the BOT is pending a final presentation to the School Board of the results, formulary, and any other concerns.

3) Opportunity Area #2: As you are aware NDC has been engaged by the BOT to begin phase three of the Municipal Center feasibility study. It is understood that NDC, will direct and undertake certain design and planning-related activities as encapsulated as Task Three.

The Municipal Building Feasibility Study Task Three budget will be comprised of the following activities and costs associated with each element of the study:

Activity #1 Site Investigation – Phase I *\$11,000*

- *Federal, state & local records review of environmental database*
- *Evaluation of adjacent parcels and historical usage*
- *Preparation of written report on site investigation*
- *Phase I ESA report according ASTM-1527 Standard*
- *Identify any environmental concerns for Phase 2 review*

Activity #2 Environmental Site Investigation – Phase II *\$35,000*

- *Geophysical investigation of underground concerns*
- *Soil sampling, groundwater testing*
- *Order of Magnitude Projections*
- *Local subsurface soils sampling & testing*

Activity #3 Site Survey *\$14,000*

- *Boundary/Topographic Site Parcels*
- *Structure/Improvements Review*
- *Utility Mapping*
- *NYS Board for Engineering & Land Surveying Report*

Activity #4 Site Geotech Investigation *\$69,000*

- *Drilling of Borehole for subsurface analysis*
- *Perform Field Permeability testing in borehole*
- *Sieve analysis*
- *Organic Content ASTM Method C Review*

- *Dry Unit Weight Rock Cores*
- *Modeling of subsurface*

Activity #5 Architect ACMEP (design) *\$235,000*

- *Abatement plan – allowance for demolition plan*
- *Foundations footing sizes, depths and layout with standard details*
- *Steel framing plan and column scale – including member sizes; including force protection at police station;*
- *Skin/Glazing schedule elevations*
- *Drywall and Carpentry – partition layouts*
- *Elevator size capacity, general type*
- *MEP/ HVAC design, general type*
- *Architectural drawings using REVIT*
- *Site Plan*
- *Roof Plan – drainage, minimum insulation thickness; system type;*
- *Floor Plan- layouts, general type; finish schedule;*
- *Elevations – street level & floors*
- *Typical Overhead Section (2-3)*
- *Finish Schedule REVIT standard*

Activity #6 Constructability Review *\$75,000*

- *Identification of building materials & pricing*
- *Costing of steel quotes;*
- *Site prep work estimate*
- *Foundation pricing*
- *Labor hours schedule*
- *Subcontractor pricing schedules*
- *Finish Schedule by general type*
- *Construction period schedule & 12 month pricing*

The analysis conducted as part of the Work Scope described above will permit NDC to determine project cost and site feasibility, which will serve to provide the Village with a reasonable analysis of the undertaking involved in the review. NOTE: Activities #1 through #4 shall be completed within ninety (90) days from the execution of this Agreement.

NDC shall provide me with regular reports on the progress of these Activities. If in the course of undertaking these Activities, NDC discovers that the designated site is found to be unsuitable due to environmental or physical conditions existing thereon, NDC will immediately notify us of the existence and extent of same. Once so notified, the Village may, in its discretion, elect to have NDC suspend further services under this Agreement until an alternative location for the Project is identified or to terminate this Agreement under the

provisions stated hereinafter with no recourse beyond payment for services satisfactorily performed to such date of notice.

Further, in the event that Activities #1 through #4 yield promising results in terms of site suitability such as to warrant further services, we will be notified, and upon written authorization, NDC shall initiate Activities #5 and Activity #6 and complete same within One Hundred and Twenty Days (120) days of authorization by Village Manager to proceed. The overall program will start no later than November 15, 2014.

- 4) **Opportunity Area #3:** the contract for the bulkhead design grant award in the amount of \$225,000 in on this agenda for acceptance. Note: it is a matching grant **up to** that amount. Our initial tact was to try to recapture prior expenditures up to 18 months ago, however the contract specs and guidelines did not allow for this to be feasible. At this time the relevant capital project line has about \$112,000 in available funds. This currently gives the Village access to \$224,000 in funds to be applied towards the design expenses. Although unlikely, if there is a need for additional funds in the future such requests will be made to the BOT.

The methodology now is to design the bulkhead in two phases, Phase 1 being the first Activity Node and temporary “shoring” up of the vinyl area; Phase 2 being the complete steel replacement and partial bridging of the cove. This approach allows us to first make progress toward re-activation of the waterfront as planned and it also gives us time to build potential funding resources from grants, districts, and/or parking revenues without stalling the entire capital improvement project.

Finally, the Department of State’s “Work Plan” dictates the steps / tasks throughout the project and it is important to note that the RFP for design now being drafted must be reviewed by the Waterfront Commission and ultimately approved by the Department of State prior its issuance

- 5) **Opportunity Area #5:** Staff has met with the planning team for Starwood to discuss the nuances of their environmental review and to clarify BOT expectations. Staff has also met with AKRF (the Villages selected consultant) regarding the ongoing SEQRA process relating to the United Hospital Site and their specific tasks in reviewing any SEQRA submittals from Starwood.
- ❖ **Property Condition Study RFP:** Again, the RFP has been issued and interviews have been conducted by the BOT. The selected consultant will conduct a general neighborhood condition survey and utilize existing census and crime data to delineate specific Areas of Rehabilitation/Redevelopment

Opportunity (ARO) within the village. Once specific areas are identified, the selected consultant will complete the following tasks for existing parcels located within each ARO and provide supportive data and recommendations in a narrative report format:

- Create a parcel-based database, indexed by Section, Block, and Lot, identifying all existing building and health code violations, structural deficiencies, substandard, insanitary, or deteriorated conditions, tax delinquencies, judgment and mechanics liens, mortgage defaults, vacancy, abandonment, and zoning code violations. Existing structural integrity should be rated Good, Fair, Poor, or Deteriorated based on field reconnaissance, exterior observation, and generally accepted criteria for property condition assessment.
- Generate existing land use and thematic maps for each Area of Rehabilitation/Redevelopment Opportunity illustrating concentration and salient trends of attributes identified above.
- Utilize appropriate census geographies (census tract, block group or block) and parcel-based database to provide demographic tables and charts for each Area of Rehabilitation/Redevelopment Opportunity extrapolating population density, vacancy rate, age of housing stock, property condition, and crime rate relative to the Village and Westchester County as a whole.
- Based on all quantitative data collected, provide specific recommendations for each Area of Rehabilitation/Redevelopment Opportunity (ARO) to leverage the powers of the Port Chester Board of Trustees, Port Chester Industrial Development Agency (PCIDA), Port Chester Local Development Corporation (LDC), existing state and federal resources, loans, subsidies, grant funding, public/private partnerships, condemnation powers of the village etc. as a means to facilitate viable rehabilitation/redevelopment opportunities. Recommendations should provide short, medium, and long term neighborhood enhancement strategies aligned with the goals and objectives of the village comprehensive plan and local waterfront revitalization program.
- Provide detailed process and legal framework for implementation of recommended revitalization strategies.
- Attend, upon request, Port Chester Village Board of Trustees meetings and other public meetings to discuss work in progress or to present findings and recommendations on completed tasks.

At the recommendation of the Board, Staff has had subsequent discussions with the two final consultants for the neighborhood revitalization strategies RFP. Next step is to schedule special workshop with both consultant teams in November to further discuss appropriate neighborhood revitalization and economic development strategies in concert with the Village's strategic comprehensive plans.

❖ **Community Outreach Efforts:**

- **Coffee with the Village Manager:** this will be a quarterly outreach effort held at the Senior Center as a means of creating improved community dialogue and to encourage information sharing with the community. The first Coffee session was held on October 17th with the following discussion topics:
 - Economic Development Strategic Plan
 - Town of Rye Move
 - Capital Improvement Projects
 - Permit Amnesty Program
 - Open Discussion

This outreach initiative was actually the brain child of Carol Neilson (she suggested it during our performance conference and as it turns out was a great suggestion). The session was well attended and well received.

- **NAACP Town Hall Meetings:** two meeting have been held to give residents an opportunity to express their concerns about the recent local racially charged and insensitive activities. The meetings are held in hopes of creating an open and constructive community dialogue about these issues. Attendance has been relatively light however participants are committed to the effort.

ACTIONS:

1. **Performance Conferences:** As part of my efforts to tighten up operations and to further team development I have instituted quarterly to biannual performance conferences with all department heads. Although I communicate, coach, and direct on a daily basis; the conferences allow for a more focused and thoughtful discussion on priorities performance and initiatives. One of the initiatives is to provide the BOT with more detailed information on departmental activities; as such my updates will include more detail on departmental activities.
2. **Emergency Medical Services Committee:** As you are aware The Village is a member of the EMS Committee and said committee meets quarterly. Budget priorities are managed by Scott Moore, EMS Administrator; who does an exceptional job. Attached is the last agenda, budget summary, and activity report for EMS for the last quarter. Also attached is the audited financial statement for EMS.
3. **DPW Snow Plow Straining:** As part of our commitment to keeping our staff well trained in their areas of responsibility, each DPW worker who drives a

plow has received a two day plow operator safety class room training. The training was provided by Ground Force Training Corp.

4. Automatic External Defibrillator (AED) program: I instituted a more formal program relating to the placement, maintenance, and utilization of AED within Village Premises. Scot Moore is taking lead on program development and structure in coordination with Chief Conway (who is a certified AED trainer). The purpose and intent is to ensure proper administration, utilization, training, and AED reporting. I will follow with the BOT on this as the program is solidified.

5. Finance:

- **Payroll Services:** Staff has reviewed products from four payroll service providers as follows:
 - KVS / Sprain Brook
 - ADP
 - Pay Checks
 - PBI Payroll

Each company provides similar products and services. ADP gave the best presentation of products due to their **process-centric** implementation approach. However all other companies except for KVS /Sprain Brook would still require double data entry as they are essentially a secondary databases that would not post to our existing General-Ledger.

As we have gone through the process I realized there is a need for us to further analyze our processes and procedures in order to more fully understand our needs. Automation does the following:

- Eliminate Manual Process
- Time and Cost Savings
- Control Labor Costs
- Electronic Scheduling
- Time and Labor Reporting / Management
- Fair & Consistent Application of Policies
- Integration with Payroll / HR
- Electronically stored historical data

Obvious efficiencies will be gained by further automation. To the extent that some benefits are obvious, others are not. I will be spending more time with staff analyzing our workflows to further identify our specific needs. A first swipe at it reveals some management deficiencies that can be readily corrected by automated time and leave reporting (leave slips and real time attendance records, etc...).

The benefits of bio-metric time recording however, is debatable. Invariably this leads to sky rocketing over-time costs, negative impacts on morale, and the inevitable drop in productivity. Further discussion on this aspect is encouraged.

- **Village Audit:** The audited financial statements for the Village of Port Chester for fiscal year ending May 31, 2014 will be ready for presentation on Monday, November 3, 2014.
- **Utility Savings Audit:** The Utility Savings Audit by Computel Consultants is in its information gather stage. The Finance Department is working closely with Computel in identifying electric, telephone, water, and cable television companies that are currently contributing municipal gross receipt tax to the Village of Port Chester. We are currently gathering the data necessary for Computel to distribute their audit letters for electric, street lighting, gas, and telephone companies.

PROJECTS:

1. Street Paving:

- All street paving/Village sidewalk/curb work is underway with completion expected within the next few weeks.
- Note: issues relating to the prior year's street paving have been resolved: ELQ is undertaking all remediation as directed.
- Note: Staff is holding Con Ed and United Water's feet to the fire relating to better coordination and better remediation of their street opening. Con Ed has recently agreed to our new standards and will be reimbursing the Village for areas repaved on their behalf. Formal agreement pending.

- ### **2. Town of Rye Move:** the project continues to move forward. Occupancy of 350 N. Main and 222 Grace Church Street is scheduled for November. The Village Court Clerks have been moved to their new space. Rye Town Court is scheduled to move in on November 7th.

3. **350 North Main Street:** The proposed capital improvements to the building continue to move forward. RFPs have been received relating to the Brick work and bid award will be on the next agenda.
4. **Pay Station / Meters:** Service update as follows:
- Parking Meter installation and rollout on Midland and Horton has been successful. Next generation machines in these locations have avoided the power issues that we have seen in other areas.
 - Machines that were having power issues throughout town received new modems as promised by our contractor. These machines appear to be functioning much better as a result and power outages have returned reasonable levels. We are monitoring the situation closely to avoid a repeat of last year's winter troubles.
 - Coin acceptor issues appear to have been diagnosed on our older machines. The replacement of corroded plates internal to the mechanisms appears to be a long term fix. This situation is still in testing but we believe progress is being made. Every effort is being made to ensure revenue streams as the weather changes.
 - Site prep for parking lot shelters has been planned and will occur shortly. Shelters will be ordered and installed this winter.

DISCUSSIONS

Booting and Towing: Attorney Cerreto commented before this is put into law it should go on the agenda as a public hearing for the December meeting. In the meantime he would like to work with the police chief because this requires the work of the police department for it to be a success.

Ethics/Gifts – Requested by Trustee Adam: Trustee Adams commented that Port Chester is not in line with New York State that has a \$75 gift acceptance. If you go to an affair and someone buys you a cup of coffee, you are against the law. We should get in line with New York State in terms of ethics and gift acceptance. I would like for Port Chester to have on its books the same law that New York State goes by. Attorney Cerreto commented that the New York State law has been held unconstitutional by a lower court in upstate that it is too vague. You may want to refer to the Board of Ethics. Attorney Cerreto's recommendation is that we make a distinction between hospitable gifts and gifts that actually might appear that something is wrong.

Acquiring the services of an outside payroll company.

Trustee Terenzi commented he has been trying to get this accomplished for a while. Based on what he saw, ADP came in with some stellar recommendations. Village Manager Steers commented that all their databases bought something to the table. ADP looked at lining up process. The complication is their own databases. The only one that

doesn't have that problem is KVS database. Our home database is KVS. Mr. Steers suggested we take another look at ADP and get together with KVS. ADP had more of human resources. We have to understand what all the implications are. The process for implementation would be where the department head is responsible for taking the attendance. Mr. Steers commented we need to have a process. Mr. Brakewood commented that this is also a way of knowing who is in a building.

CORRESPONDENCES

From Joan M. Di Buono on her resignation from the Board of Ethics.

The Board duly noted the correspondence.

Port Chester Yacht Club regarding bulkhead.

The Board referred the correspondence to staff without objection.

Mayor Pagano asked for a motion to combine correspondence 3, 4, 5 and 6 of the agenda for the purpose of refereeing the correspondences to staff without objection.

From Leonard Sorbara of 37 Upland Street - Sewer Rent Appeal.

From Editha Comia, 480 King Street - Sewer Rent Appeal.

From Manuel Yanez of 328 Locust Avenue - Sewer Rent Appeal.

From Ruth Ann Cosgrove 305 Glen Avenue - Sewer Rent Appeal.

There being no objections, on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE BRAKEWOOD, the motion was accepted by the Board of Trustees of the Village of Port Chester, New York.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

Permission Requested for Parade on December 27, 2014.

The Board referred the correspondence to staff without objection.

From Putnam Engine & Hose Co., No. 2 regarding the expulsion of a member Eugene Sciavillo.

The Board duly noted the correspondence.

From Harry Howard Hook & Ladder Co. No. 1 regarding the election of a member Carlos E. Ruano.

On motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE TERENCE, The Board of Trustees accepted the election of Carlos E. Ruano as a member to Harry Howard Hook & Ladder Co. No. 1 with the Port Chester Fire Department.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

From Harry Howard Hook & Ladder Co. No. 1 regarding the resignation of Timothy Gordon Hannigan.

The Board duly noted the correspondence.

From Harry Howard Hook & Ladder Co. No. 1 regarding the resignation of Christopher Lutton.

The Board duly noted the correspondence.

From U.S. Department of Transportation Federal Transit Administration regarding extension approval.

The Board duly noted the correspondence.

MINUTES

Mayor Pagano asked for a motion to combine the minutes of 10/02/2014, 10/06/2014 and 10/20/2014 of the agenda for the purpose of casting one vote for all minutes.

There being no objection TRUSTEE ADAMS, made a motion, seconded by TRUSTEE CECCARELLI, to combine the minutes of 10/02/2014, 10/06/2014 and 10/20/2014, the motion was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

On motion of TRUSTEE ADAMS, seconded by TRUSTEE TERENCE, The Board of Trustees accepted the minutes of 10/02/2014, 10/06/2014 and 10/20/2014.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

PUBLIC COMMENTS AND BOARD COMMENTS

Mayor Pagano asked if there was anyone from the audience who would like to make any public comments.

Comments were made by:

Public

No comments were made by the public

Board

Trustee Adams commented he does not want to see the electoral process taken out of the hands of the voter. He thanked Trustees Brakewood and Ciccarelli for attending his son's Eagle Scout presentation and he congratulated his son on obtaining Eagle Scout.

Trustee Brakewood thanked Dr. Arnel for coming forward and requesting a change to the zoning code. He would support a referendum for the new Municipal Center.

Trustee Terenzi commented that we have knocked down the long term debt substantially. The name of the game is to increase the accessible.

Trustee Ciccarelli commented on the looks of the Village Hall on the front of the audit report. We should see what NDC recommends before we go forward. He thanked Trustee Marino and the Knights of Columbus on their fundraiser.

Mayor Pagano commented how this Village comes together during times of crisis.

At 10:19 p.m., on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE ADAMS, the meeting was closed.

ROLL CALL

AYES: Trustees Adams, Brakewood, Terenzi, and Mayor Pagano.

NOES: None.

ABSENT: Trustee Marino, Kenner and Ceccarelli.

DATE: November 3, 2014

Respectfully submitted,

Janusz R. Richards
Village Clerk

MEETING HELD NOVEMBER 17, 2014

A meeting of the Board of Trustees of the Village of Port Chester, New York, was held on Monday, November 17, 2014, in the Court Room of the Police Headquarters Building, 350 North Main Street, Port Chester, New York, with Mayor Neil Pagano presiding.

Present in addition to Mayor Pagano, were Trustees Gregory Adams, Daniel Brakewood, Luis Marino and Gene Ceccarelli.

It should be noted that Trustees Kenner and Terenzi were absent.

Also present were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas; Chief of Police, Richard Conway; Director of Planning and Development Christopher Gomez (arrived at 7:30 p.m.); Christopher Ameigh Administrative Aide to the Village Manager and Heather Krakowski, Recreation Supervisor.

On motion of TRUSTEE CECCARELLI, seconded by TRUSTEE MARINO the meeting was declared opened at 6:04 p.m.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Kenner and Terenzi

DATE: November 17, 2014

Motion to Add-On an Executive Session

Mayor Pagano asked for a motion to add on an Executive Session regarding consultation with Village Attorney regarding Starwood.

On motion of TRUSTEE Brakewood, seconded by TRUSTEE ADAMS, the motion received a unanimous vote of those present.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Kenner and Terenzi

DATE: November 17, 2014

MOTION FOR EXECUTIVE SESSION

At 6:11 p.m., on motion of TRUSTEE MARINO, seconded by TRUSTEE ADAMS the Board adjourned into an executive session regarding the following items;

Village Manager Evaluation.

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas and Christopher Ameigh Administrative Aide to the Village Manager.

Article 14 of the Civil Collective negotiations involving the PBA pursuant to Service Law.

It must be noted that TRUSTEE CECCARELLI recuse himself from executive session relating to Civil Collective negotiations involving the PBA.

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas; Chief of Police, Richard Conway and Christopher Ameigh Administrative Aide to the Village Manager.

Consultation with Village Attorney regarding the Port Chester Professional Fire Fighters Association Local 1971 IAFF - AFL-CIO.

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas; Chief of Police, Richard Conway and Christopher Ameigh Administrative Aide to the Village Manager.

Consultation with Village Attorney regarding Starwood (Add-on Executive Session)

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas; Chief of Police, Richard Conway and Christopher Ameigh Administrative Aide to the Village Manager.

Discussion with Village Attorney regarding the legal requirements of the Dog Park.

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer, Leonie Douglas; Chief of Police, Richard Conway and Christopher Ameigh Administrative Aide to the Village Manager.

Consultation with the Chief of Police which involves current or future investigations which would imperil public safety and/or effective law enforcement.

Also present during this session were: Village Clerk, Janusz R. Richards; Village Manager, Christopher Steers; Village Attorney, Anthony Cerreto; Village Treasurer,

Leonie Douglas; Chief of Police, Richard Conway and Christopher Ameigh
Administrative Aide to the Village Manager.

No action was taken in executive session.

At 7:13 p.m., a motion to come out of executive session was made by TRUSTEE MARINO, seconded by TRUSTEE ADAMS, the Board of Trustees closed the executive session.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano

NOES: None.

ABSENT: Trustees Kenner and Terenzi

DATE: November 17, 2014

PUBLIC COMMENTS

Mayor Pagano asked if there was anyone from the audience who would like to make any public comments.

Comments were made by:

Ms. Goldie Solomon commented on Thanksgiving Day and our freedoms.

Ms. Beatrice Conetta commented on having a full Board in session. She is thrilled with the MTA that the government says they have to do something for the disabled people in Port Chester. The Amnesty Program is not good for Port Chester. The parking at the Senior Center is not going to be solved. The Town of Rye takes too many spaces. The fire department has only six paid people. We should hire more firemen. The dog park has something that is not right. The decision lies in the lap of the Trustees.

Frank Ferrara commented on the sales tax revenue for the Village. Demographic trends tell us that Port Chester is going to be a denser place. That means we are going to have to rev up Village services. You should form a subcommittee and look into this. We should look into becoming a city. Village Attorney Cerreto commented this would be a constitutional amendment and a legislative agenda to this Board and he would be glad to put this at the top of his pile.

DISCUSSIONS (Taken out of order)

Trustee Marino said the Dog Park was discussed previously and voted upon and approved the location. Now we are bringing it up again.

Village Manager Steers commented the Parks Commission has had a few meetings. The concept was approved but the final layout was not approved. We are now trying to discuss the final layout.

Dog Park

Ms. Dina Goren made the following opening statement: “Good Evening. As a reminder, the Port Chester Dog Park Group was established last year with the goal of creating a dog park within our community. Local area residents got together and followed a formal approval process with the Parks Commission and this Board of Trustees on both the concept and location of a dog park. We made sure to have the necessary approvals in place before starting our fundraising efforts. In August we announced that we had reached our fundraising goal and were ready to work with the Village to open the dog park.

With the Village, the Port Chester Dog Park Group has been discussing the draft site plan, rules & regulations, fencing estimates, process and timeline for opening the dog park. However, progress was suddenly stalled when communication from the Village was silent for several weeks until the dog park group requested an in-person meeting. At that meeting, we were informed that there was some uncertainty about the current, approved location of the dog park at the upper level of Abendroth Park. The Village Staff stated that the approved distance from the playground was again being questioned.

To provide some background, prior to the Board of Trustees approving the location at the upper level of Abendroth Park, the Village Staff had prepared some reports for the BOT to review. One of those report’s suggested a “distance from playground at least 100-150 feet.” The Port Chester Dog Park Group’s concern regarding that 100 foot buffer from the playground was it took away all open field space, which was critical to the design of the dog park and was otherwise not being utilized. On April 13, 2013, the Mayor, some of the Trustees, Village Staff and the Dog Park Group met at Abendroth Park to review this issue specifically. Using Trustee Ceccarelli’s feet as our initial measuring tool, we came to a compromise that 35 feet from the playground area would be an acceptable distance for the Dog Park fencing to be placed. The Port Chester Dog Park Group subsequently went to the Parks Commission and requested their approval on the 35 foot distance. The Parks Commission voted unanimously and agreed to the 35 foot buffer from the playground to the dog park fencing. The current draft site plan of the dog park incorporates this 35 foot buffer, as agreed upon.

Although the Port Chester Dog Park Group feels this particular issue had already been reviewed and addressed, we met with the Village Staff at Abendroth Park to discuss this topic again. After that meeting, we are still left with more questions than answers about why this subject is being raised further.

Adding to the confusion and previous approvals notwithstanding, the Village Manager is now stating that he cannot support the location of the dog park at the upper level of Abendroth Park. He is instead, recommending two other locations: the lower level of Abendroth Park adjacent to the soccer field as well as a completely different park, Edgewood Park.

The Port Chester Dog Park Group would like to make it clear that we did not propose these alternative locations and continue to favor the original approved location at the upper level of Abendroth Park. While the Village Staff have suggested alternative areas that are the same size or even larger than the original approved location, the size of the dog park is not the only consideration we looked at when originally assessing locations. As stated in our original presentation to both the Parks Commission and this Board, the location considerations we looked at included:

- **Location size**
- **How the land was being used**
- **Proximity to residential housing**
- **Water/Electricity**
- **Parking**
- **Terrain**

The obstacles that the two newly proposed locations present include the proximity to residential housing as well as parking problems. Both locations literally have backyards adjacent to the park (separated only by a fence) and also require the creation of parking areas and other modifications to the parks. We believe that these issues will negatively impact: Community support of the project, the early-Spring timeline, as well as the budget.

After months of exhaustive research, review, and dutiful adherence to the approval process as well over a year of fundraising time and 3 months since announcing reaching our fundraising goal, the Port Chester Dog Park Group does not understand why the location is being questioned by Village Staff, now. Is the proximity to the playground the main issue here or is it something that we are not privy to? Does Starwood have any role in this discussion since they want to incorporate Abendroth Park into their project's site design? With all of the previous discussions and resolution on this topic and the fact that there are other dog parks with similar distances to playground areas, Stamford's Dog Park in Connecticut as an example, we have to believe that there are other factors at play. This isn't a complicated project. We are not requesting building a municipal center. This is simply putting up fencing for our dogs to be able to run off-leash.

Whatever the reason for this interruption in the process, the Port Chester Dog Park Group requests an open and honest dialogue and a concerted effort to resolve the issues quickly so that we can focus on getting back on track for an early-Spring opening of our Dog Park.

Thank you."

Village Manager Steers commented that he has put his concerns in writing. The final layout is in question and he cannot support the layout. The issue is the proximity to the playground. My concern has been detailed in the report. This has been consistent since it became a Board issue. The layout and location need approval from the Board. Last week and the week before we had workshops with the Parks Commission to talk about the layout or other alternatives available. We are 100% behind supporting a dog park. It just has to be planned properly. Edgewood Park, which is much larger and easier to access, was well received by the Parks Commission.

(slide presentation of upper and lower Abendroth Park layouts and Edgewood Park)

Trustee Marino commented you are killing the baseball field in Edgewood Park to put in a dog park.

Trustee Brakewood commented that when we have one dog park. We should be considering having a large dog park at Abendroth and smaller parks at other locations.

Trustee Ciccarelli commented on where the soccer field would be placed at Edgewood. Mr. Steers said there is a soccer field two blocks away at Columbus Park.

Heather Krakowski commented that Columbus Park is extremely programmed, whether it's with the high school use or other organized groups. If you want to have an organized soccer game in any of our parks you need insurance and a permit.

Mayor Pagano commented that 35 feet off the playground at Abendroth is not very much. The 100 foot access would have an entrance from the parking lot to the dog park so it is a segregated access. Mayor Pagano commented we need to have another workshop on this.

Ms. Goren commented there was a lot of discussion of the 100 foot buffer before the resolution. We sold the Port Chester Dog Park after the resolution. We need to get on to layout. The staff doesn't seem to be concerned with the lower level where kids are playing with soccer balls 50 feet away. The playground area is underutilized. Ms. Goren commented that at the last meeting of the Parks Commission Mr. Steers said he could no longer support upper Abendroth Park because of the proximity of the playground. The upper Abendroth has little proximity to residential housing.

Village Manager Steers said it is not an option to move the playground because the County was against moving it since they paid the money to have it put there. We spoke of putting in the fencing and moving back the dog park, but that was unacceptable to the Dog Park Group.

Raphael Gregory commented that we are people who own dogs. You can count on one hand the number of kids using the playground. Dogs going to the park are trained, they are there to run and play. We didn't ask for taxpayer money. We raised this money ourselves.

Bea Conetta commented that you approved the dog park. You don't have to listen to Mr. Steers "suggestions". You should follow through with your approval of the resolution. Why wasn't the safety of the children a concern when this first came up.

Jim Black commented about this project being done without taxpayer dollars. We undertook the raising of funds with this in mind. It is even addressed in the resolution. The alternate plans are going to cost above what we have raised, including fencing and parking lots. We now have a proposal that will require additional funds.

Richard Abel commented this has gotten out of hand. A park is for people. I'm for safety, but we are talking about people and dogs. It is a social time and they are using the park. It just adds another use to this park. People walk their dogs in Lyon Park and there are children playing all over this park.

Ms. Linda Torturino commented on the layout showing hedges against the fence. Little kids cannot get to the fence to put their fingers through. We need to have dialogue about separate entrances to the park.

Ronald Carezza commented there are dog parks wherever he lived. He supports the dog park initiative. Other towns have dog parks and Port Chester should have one, just put up the fence.

Ms. Goren commented about the site plan. Many towns allow dogs on leash in the parks. We did hear what the Village Staff was saying. We did include a fence around the playground, a barrier fence for the dogs to get into the dog park area.

Trustee Brakewood commented about the environmental review. Is that a requirement of creating this? Village Attorney commented that our Planning Department would do that analysis for us. He advised the Park Commission, this is easy to do but it is a requirement by law. When we do things with the County it is a requirement on our end for a grant. We would do that work in-house.

Trustee Ciccarelli commented he supports the dog park. He commented on Chris Steers' concern with safety and trying to protect the Village. There has been a lot of time and effort put into this. I'd like to see the dog park support itself. This is well over an acre of property that the Village is giving to a dog park.

Village Manager Steers commented that his experiences tell him what could happen in these situations.

Trustee Marino commented this is a job for the entire Board. We approved the resolution and referred it to Staff without concern for the work involved. The Staff has come up with concerns.

Mayor Pagano commented the Board was too casual and didn't know all the details. The fact of the matter is this Board approves the policy and the Village Manager has the job of bringing his concerns to the Board. Having said that, the Village Board is going to look at this location, it is going to stay here and we should have a compromise on the amount of distance between the two. The target here is Spring and that is where we are going to go. It will go on the Village Manager's priority sheet.

RESOLUTIONS

RESOLUTION #1

**ACCEPTING \$5,000.00 DONATION FROM FREEHELD PRODUCTIONS, LLC
TO THE VILLAGE OF PORT CHESTER'S EMPLOYEES HOLIDAY FUND**

On motion of TRUSTEE ADAMS, seconded by TRUSTEE BRAKEWOOD, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village Of Port Chester has received a donation in the total amount of \$5,000.00 from Freeheld Productions, LLC., for the Village of Port Chester's Employees Holiday Fund;

RESOLVED, that the Board of Trustees duly accepts this generous contribution to the village of Port Chester's Employees Holiday Fund.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

RESOLUTION #2

IMPOSING NEW PARKING REGULATIONS AT VILLAGE HALL/SENIOR COMMUNITY CENTER MUNICIPAL PARKING LOT

On motion of TRUSTEE ADAMS, seconded by TRUSTEE MARINO, the following resolution was adopted by the Board of Trustees of the Village of Port Chester, New York:

WHEREAS, the Village Manager has proposed that there be appropriate parking restrictions at the municipal parking lot, the circular driveway in front of Village Hall, and at the accessory municipal parking lot on Eldridge Street, for the Village Hall and Senior/Community Center located at 220-222 Grace Church Street; and

WHEREAS, the Traffic Commission has recommended several amendments to the Village Code to implement same; and

WHEREAS, upon review, the Board hereby accepts such recommendation. Now, therefore, be it

RESOLVED, that the Code of the Village of Port Chester, Vehicles and Traffic, Schedule XIV, Section 319-75, Nighttime Parking Prohibited Certain Hours, is hereby

amended as follows:

- A. In accordance with the provisions of Section 319-21 A, the parking of vehicles between the hours of 1:00 a.m. and 6:00 a.m. is prohibited in the following locations:

Name of Street	Side	Location
Add: Village Hall/ Senior Community Center principal parking lot	N/A	Grace Church Street and Cottage Street
Village Hall	Both	Circular driveway on Grace Church Street

And be it further

RESOLVED, that the Code of the Village of Port Chester, Vehicles and Traffic, Schedule XVI, Section 319-77, "Limited Time Parking", is hereby amended as follows:

- A. In accordance with the provisions of Section 319-23, the parking of vehicles is prohibited in the locations described below for a longer period of time than that designated, during the hours of any day except Sundays and Holidays:

Name of Street	Side	Time Limit	Between	Location
Add: Village Hall	West	15 minutes	6:00 a.m. to 1:00 a.m.	Circular driveway on Grace Church Street from the north curb cut for a distance of 44 feet and from the south curb cut north for a distance of 44 feet
Add: Village Hall /Senior Community Center principal parking lot	N/A	15 minutes	6:00 a.m. to 1:00 a.m.	Grace Church Street and Cottage Street, 3 spaces in northeast corner

And be it further

RESOLVED, that the Code of the Village of Port Chester, Vehicles and Traffic, Schedule XIII, Section 319-74, "No Parking or Standing at Any Time", is hereby amended as follows:

- A. In accordance with the provisions of Section 319-20, the parking or standing of vehicles is prohibited at all times in the following locations:

Name of Street	Side	Location
Add: Village Hall front	East	Circular driveway on Grace Church Street from the north curb cut south for the entire distance to the south curb cut

And be it further

RESOLVED, that the Code of the Village of Port Chester, Vehicles and Traffic, Section 319-81, Schedule XX, "Loading Zones", is hereby amended as follows:

A. In accordance with the provisions of Section 319-27, the following locations are designated as loading zones:

Name of Street	Side	Location
Add: Village Hall front	West	Circular driveway on Grace Church Street from a point 44 feet from the north south 8 feet

And be it further

RESOLVED, that the Code of the Village of Port Chester, Vehicles and Traffic, Schedule XXXII, Section 319-92.1, "Special Purpose Parking Zones", is hereby amended as follows:

Name of Street	Side	Authorized Purpose or Vehicle	Location
Village Hall/ Senior Community Center Accessory parking lot	South	Official Village vehicles authorized	Eldridge Street

And be it further

RESOLVED, that this resolution shall take effect as such date as appropriate signage is put in place at the direction of the Village Manager.

Approved as to Form:

Anthony M. Cerreto, Village Attorney

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

DISCUSSIONS (Continues)

Planning Commission referral regarding zoning text changes

Planning Director Christ Gomez commented as of December 1st we are going to go into analysis of all the zoning text changes, not just Westchester Avenue but there are about 150 parcels we are going to analyze. It is a much bigger discussion than we have time for tonight. It is a local law to changes to procedural applications of the Planning Commission. One will be the procedure to delineate what is required under a survey. The second is how long an approved site plan is valid for. It is basically extending it from four months to one year.

Mayor Pagano asked for a motion hold a Public Hearing on Monday, December 15, at 7:00 P.M., to consider adopting a local law amending the Code of the Village of Port Chester, Chapter 345 “Zoning”, Section 345-23 site plan approval procedures with regard to survey requirements and extending the term of site plan approval.

There being no objections, on motion of TRUSTEE CECCARELLI, seconded by TRUSTEE BRAKEWOOD, the motion was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

Sewer Rent

Mayor Pagano commented that appeals for Sewer Rent be referred to the Village Manager’s office. We should have a public hearing to clarify this process.

Mayor Pagano asked for a motion hold a Public Hearing on Monday, December 15, at 7:00 P.M. or as soon thereafter, to consider adopting a local law amending the Code of the Village of Port Chester, Chapter 268, “Sewer Rents” with regard to the process of adjustments in water consumption and appeals.

There being no objections, on motion of TRUSTEE MARINO, seconded by TRUSTEE BRAKEWOOD, the motion was adopted by the Board of Trustees of the Village of Port Chester, New York:

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

CORRESPONDENCES

Mayor Pagano asked for a motion to combine correspondence 1, 2, 3, 4, 5, 8 and 9 of the agenda for the purpose of refereeing the correspondences to staff without objection.

Sewer Rent Appeal from Poningo Properties for 4 Bulkley Avenue
Sewer Rent Appeal from H & H Property Corp. for 211 Irving Avenue
Sewer Rent Appeal from Poningo Properties for 46 Poningo Street
Sewer Rent Appeal from 235 Holding 10 LLC for 235 Westchester Avenue
Sewer Rent Appeal from New Broad Street LLC for 33 New Broad Street
Sewer Rent Appeal from New Broad Street LLC for 33 New Broad Street.
Sewer Rent Appeal from Poningo Properties for 46 Poningo Street

There being no objections, on motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE MARINO, the motion was accepted by the Board of Trustees of the Village of Port Chester, New York.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

From Harry Howard Hook & Ladder Co. No.1 regarding Timothy Gordon Hannigan.

The Board duly noted the correspondence.

From Washington Engine & Hose Co. #4, Inc. on the expelling of John Lowell from active membership

The Board duly noted the correspondence.

From the Traffic Commission regarding crosswalk at Barton Place and North Regent Street.

The Board acknowledged the correspondence.

From the Traffic Commission regarding the removal of one parking space at 120 North Pearl Street

The Board acknowledged the correspondence.

From Mellor Engine & Hose Co. No. 3 on the election of Erwin Penala-Diaz to active membership

On motion of TRUSTEE MARINO, seconded by TRUSTEE CECCARELLI, The Board of Trustees accepted the election of Erwin Penala-Diaz as member to Mellor Engine & Hose Co. No. 3 with the Port Chester Fire Department.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

From Mellor Engine & Hose Co. No. 3 on the election of Bryan Gomez to active membership

On motion of TRUSTEE MARINO, seconded by TRUSTEE CECCARELLI, The Board of Trustees accepted the election of Bryan Gomez as member to Mellor Engine & Hose Co. No. 3 with the Port Chester Fire Department.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

From Frank Strauch on his resignation from the Zoning Board of Appeals

The Board acknowledged the correspondence.

PUBLIC COMMENTS AND BOARD COMMENTS

Mayor Pagano asked if there was anyone from the audience who would like to make any public comments.

Comments were made by:

Public

Mr. Richard Abel commented on #3, local 19 Fire. Village Attorney Cerreto commented this had to do with collective fire negotiation. Mr. Abel commented we now have only

five paid firemen. Is that being addressed by this Board? Mayor Pagano said this is being addressed. Mr. Steers commented there has never been a lapse in service coverage.

Mr. Steers referred to a comment that he had been made in front of the dog park people in the hallway about them basically putting a rope around his neck. Mr. Abel replied they weren't very happy with you. Mr. Steers asked Mr. Abel to reflect on that statement. Mr. Abel commented he did not think it was inappropriate about what was being said in the hallway against Mr. Steers and it was not meant in any toward him as an African American. Mr. Abel stated it was meant as a comment that the dog park people didn't like what Mr. Steers was saying tonight.

Board

Trustee Adams commented that at the last meeting someone came to the microphone and used racist language. He asked for a resolution so in the future if anyone who comes to the podium makes a racist remark that we use legal recourse to have them removed from these hearings. Attorney Cerreto commented that our current rules of procedure do address the point. We were having Boards and Commissions come before the Board, but haven't had any in a while. He would like to encourage more citizens to come before the Board.

Trustee Brakewood apologized if he sounded sarcastic. It would be nice to break down barriers and to move forward. He thought this would be a simple process. It is the Village's task to mitigate the risks involved. He commented he agrees with Mr. Ferrara's comment about sales tax. It is an antiquated system of how the sales tax is allocated back to the municipality. We have just received the detail of the auditor's report. However the auditors are not here to discuss this detail. Village Treasurer Leonie Douglas commented there was one adjustment after the draft; so if you want them to come back to present the detail we could arrange that when they come back for the I.D.A. Trustee Brakewood had some people approaching him about the level of integration we have between our Building Department and Fire Safety Inspection. Village Manager Steers can arrange for Peter Miley to come to the next meeting. The Building and Fire Safety basically function as one department now. On Temporary C.O.'s, we just increased the fines and penalties. The Mariner still has wires hanging; we should limit the amount of time a T.C.O. can be used. We should have this as a discussion item next meeting. Trustee Brakewood commented on Christmas lights on Main Street.

Trustee Ceccarelli commented on the potholes on Summit. He asked Village Attorney Cerreto about the canvassing of municipalities on HUD. Attorney Cerreto responded we are waiting for the other communities to respond. He commented on paper reduction. He commented on the Board of Elections. Village Attorney Cerreto commented that everything is in place and we will file the Court papers tomorrow. The Veterans Day memorial went very well.

Mayor Pagano commented about the comment made two weeks ago at the podium. This Board must make it clear to the public that language like that is not going to be tolerated. We need to pay more attention to our language. People are too casual with our language and do not think. He thanked Trustee Ciccarelli and the entire Board and Staff for the work with the MTA. He commented on King Street School. The principal had

orchestrated a very impressive Veterans Day Program. He congratulated Joe Kenner on his marriage.

At 9:49 p.m., on motion of TRUSTEE BRAKEWOOD, seconded by TRUSTEE MARINO, the meeting was closed.

ROLL CALL

AYES: Trustees Adams, Brakewood, Marino, Ceccarelli and Mayor Pagano.

NOES: None.

ABSENT: Trustees Kenner and Terenzi.

DATE: November 17, 2014.

Respectfully submitted,

Janusz R. Richards
Village Clerk

**PUBLIC COMMENTS
AND
BOARD COMMENTS**